

COASTAL MODULAR HOMES

Modern. Efficient. Built for You.

Proposal Summary

Prepared for: **Rhode Island Executive Office of Housing**

Prepared by: **Dave Zoglio**

■ 401-556-5698 ☎ ■ dave@coastalmod.com

Date: **November 7, 2025**

Project Overview

This proposal outlines preliminary estimates and specifications for a selection of modular home models designed and built by Coastal Modular. Each plan features factory-built modules constructed to meet or exceed local building codes, with customizable finishes, site work, and delivery options.

Cost Estimates Chart

Category	Description	Est. Cost / Notes
Product Cost	Sq. ft. cost of home modules (excludes delivery).	\$116 – \$195 per sq. ft.
Delivery	Transportation of modules to site (varies by distance).	\$4,800 per carrier
Set Crew	Labor for on-site setting of modular boxes.	\$9,000 – \$14,000
Crane	Crane rental and operation for module placement.	\$3,800
Foundation / Cement Floor	Concrete foundation, piers, or slab installation as required for home placement.	\$88 per linear ft.
Basement Cement Floor	Poured cement floor for basement level.	\$8 per sq. ft.
Electrical	Panel hookup and utility connections.	\$9,600 – \$14,000
Plumbing	Water/sewer/septic tie-ins and fixture connections.	\$7,000
HVAC	Installation and connection of heating and cooling systems.	\$11,000 – \$22,000
Carpentry	Trim, stairs, drywall, and finish carpentry.	\$10,400
Permits	Local building permits, energy testing, inspections.	\$3,000 – \$5,000
Total Estimated Cost		

Pricing Notes:

Price is subject to change due to material costs and/or unforeseen conditions and/or changes. This estimate is neither a contract nor a bill. It is our best guess as the total price to complete the work stated above.

Model Summaries

Oberlin Ranch

Bedrooms: 3 **Bathrooms:** 2 **Sq. Ft.:** 1,280

Highlights: Single-story living with open concept kitchen/living area; ideal for level lots or retirement builds.

Timeline: 10–12 weeks.

Est. Cost: \$146,000 (\$116/sq')

Eden Cape

Bedrooms: 2 **Bathrooms:** 2 **Sq. Ft.:** 1,173

Highlights: Compact Cape design with optional unfinished second-story expansion.

Timeline: 10–13 weeks.

Est. Cost: \$159,000 (\$135/sq')

2BR Stacked

Bedrooms: 2 **Bathrooms:** 1 **Sq. Ft.:** 963

Highlights: Efficient narrow-lot footprint; entry-level modular suitable for infill or urban lots.

Timeline: 12–14 weeks.

Est. Cost: \$145,000 (\$150/sq')

3BR Stacked

Bedrooms: 3 **Bathrooms:** 2 **Sq. Ft.:** 963

Highlights: Two-story plan maximizing vertical space; generous main-floor living area.

Timeline: 12–15 weeks.

Est. Cost: \$150,000 (\$155/sq')

Rhode Island Tiny Home

Bedrooms: 2 **Bathrooms:** 1 **Sq. Ft.:** 480

Highlights: Compact modern tiny home ideal for ADU or coastal living; efficient footprint with open-plan layout.

Timeline: 10–12 weeks.

Est. Cost: \$93,815 (\$195/sq')

The Newport

Bedrooms: 3 **Bathrooms:** 2.5 **Sq. Ft.:** 1,294

Highlights: Spacious family design; optional finished attic ("wedge box") for added storage or living area.

Timeline: 14–16 weeks.

Est. Cost: \$205,000 (\$158/sq')

Scope of Work

- Delivery and installation of modular home per approved plans.
- On-site assembly including mechanical tie-ins and finish work.
- Coordination with local subcontractors for utilities and permits.
- Final inspection and turnover with one-year limited warranty on structure and workmanship.

Note: Due to fixed costs, square foot price is higher as the square footage is decreased.

Oberlin Ranch

Three Bedroom

Two Bathroom

1,280 Sq. Ft.



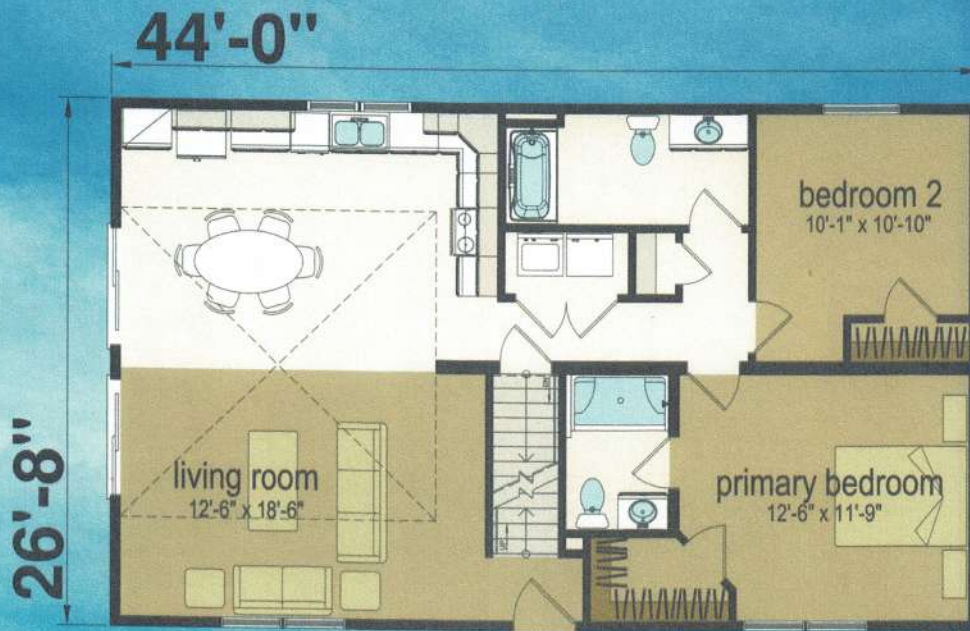
Eden Cape

Two Bedroom

Two Bathroom

1,173 Sq. Ft.

(Proposed second story floorplan is optional)





THIS HOME HAS BEEN DESIGNED SPECIFICALLY FOR:

2BR SPEC

ADDRESS
PROVIDENCE, RI 02909
PROVIDENCE COUNTY

BUILDER:

COASTAL MODULAR

532 BIG WATER ROAD
WAKEFIELD, RI 02879

REG#

Champion Factory 041
Champion Modular, Inc.
10642 S. Susquehanna Trail
Liverpool, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

COASTAL MODULAR

CUSTOMER/PROJECT:

2BR SPEC

ENGINEER'S / ARCHITECT'S SEAL

APPROVER'S SEAL

MODIFICATIONS

PROJECT:

43749
2 STORY

TITLE:

COVER SHEET

DRAWN BY: SAN

DATE: 01-24-22

SCALE:

FILENAME: 43749_PD

PD1

SHEET:

COVER

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2.6/12 roof pitch so roof can be raised in factory and shipped



FRONT ELEVATION

SITE CONDITIONS:

GROUND SNOW LOAD: 30 PSF
WIND SPEED: 130 VULT MPH
EXPOSURE: C
SEISMIC CATEGORY: B
USE GROUP: SINGLE FAMILY
CONSTRUCTION TYPE: VB WOOD FRAME UNPROTECTED

SQUARE FOOTAGE:

FIRST FLOOR: 440 SQ. FT.
SECOND FLOOR: 323 SQ. FT.
BONUS ROOM: - SQ. FT.
GARAGE: - SQ. FT.
TOTAL: 963 SQ. FT.

OVERALL SIZE: 13'-0" x 38'-0"
MODEL: 2 STORY

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

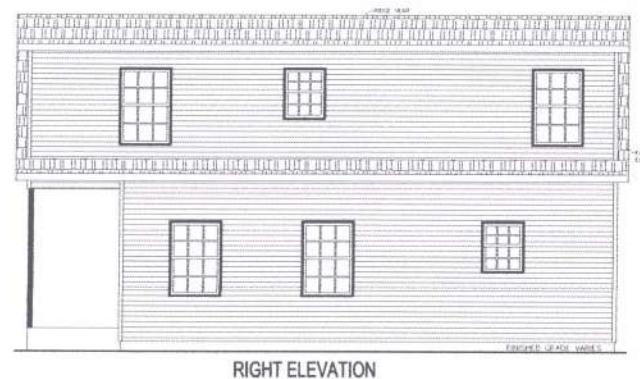
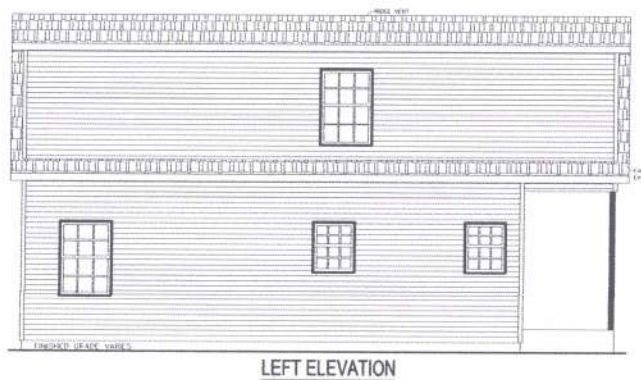
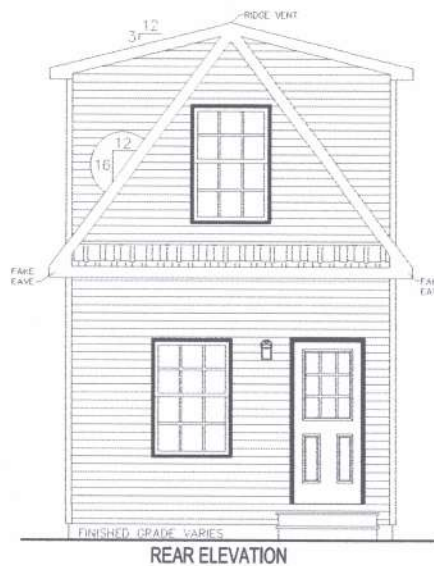
DATE:

TITLE:

NOTES:

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY
2. GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)

4'-2 1/2" TOP OF SILL TO PEAK
 8'-0" 2ND FLOOR CEILING HEIGHT
 2ND FLOOR FLOOR
 8'-0" 1ST FLOOR CEILING HEIGHT
 1ST FLOOR FLOOR
 TOP OF SILL
 GRADE



NOTES:

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Champion Factory 041
 Champion Modular, Inc.
 10642 S. Susquehanna Trail
 Liverpool, PA 17045

CHAMPION
 MODULAR

BRAND:

excel
 HOMES

BUILDER:

COASTAL MODULAR

CUSTOMER/PROJECT:

2BR SPEC

ENGINEER'S / ARCHITECT'S SEAL

APPROVER'S SEAL

MODIFICATIONS

PROJECT:

43749
 2 STORY

TITLE:

ELEVATIONS

DRAWN BY: SAN

DATE: 01-24-22

SCALE:

FILENAME: 43749 PD

PD1

SHEET:

ELEVATIONS

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RIGHT ELEVATION

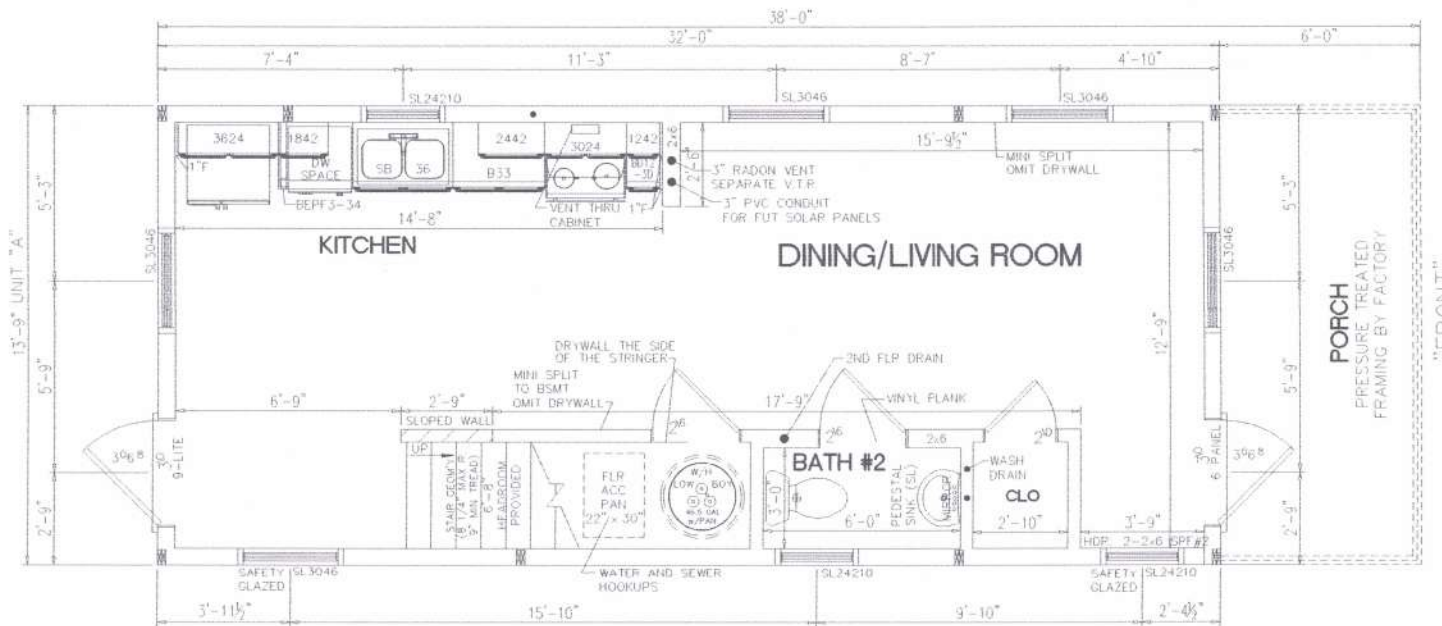
BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

BRACED WALL CALCS REQUIRED



NOTES:

1. 2x6 EXT WALLS @ 16" O.C./2x4 MARR WALLS @ 16" O.C.
2. 8'-0" CLG HT.
3. 2x10 SPF#2 FLOOR JOISTS @ 16" O.C.
4. ROOF SYSTEM TO BE 16" O.C.
5. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS.
6. BASED ON 130 VULT MPH WIND LOAD & EXPOSURE "C"
7. SITE LOCATION: PROVIDENCE, RI, PROVIDENCE COUNTY; 30 PSF GROUND SNOW LOAD

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

Champion Factory 041
Champion Modular, Inc.
10642 S. Susquehanna Trail
Liverpool, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

COASTAL MODULAR

CUSTOMER/PROJECT:

2BR SPEC

ENGINEER'S / ARCHITECT'S SEAL

APPROVER'S SEAL

MODIFICATIONS

PROJECT:

43749
2 STORY

TITLE:

FIRST FLOOR
FLOOR PLAN

DRAWN BY/AN:

DATE 01-24-22

SCALE 3/16" = 1'-0"

FILENAME 43749_PD

PDI

SHEET:

1ST FLR

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3BR STACKED "B"

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PROVIDENCE COUNTY

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CUSTOMER/PROJECT:

3BR STACKED "B"

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT

43880
2 STORY

TITLE:

COVER SHEET

DRAWN BY: SAN

DATE: 04-01-22

SCALE:

FILENAME: 43880_PD

PD1

SHEET:

COVER

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+/- 20'-10" TOP OF SILL TO PEAK

8'-0" 2ND FLOOR CEILING HEIGHT

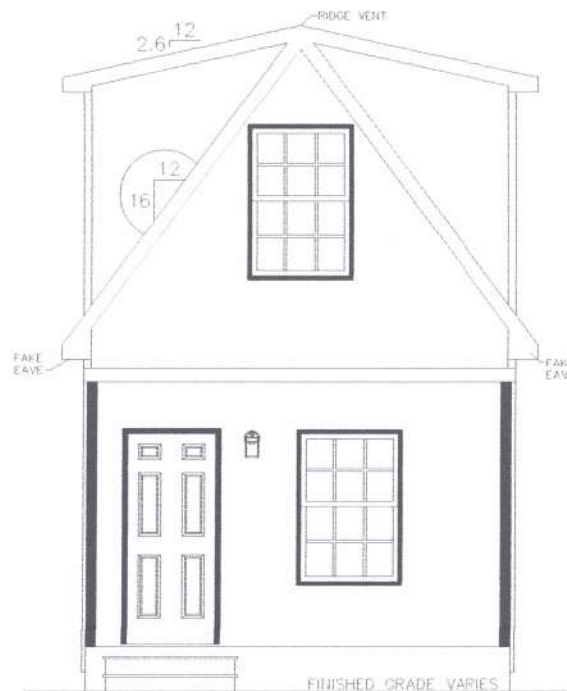
2ND FLOOR FLOOR

8'-0" 1ST FLOOR CEILING HEIGHT

1ST FLOOR FLOOR

TOP OF SILL

GRADE



FRONT ELEVATION

SITE CONDITIONS:

GROUND SNOW LOAD: 30 PSF
WIND SPEED: 130 VLT MPH
EXPOSURE: C
SEISMIC CATEGORY: B
USE GROUP: SINGLE FAMILY
CONSTRUCTION TYPE: VB WOOD FRAME UNPROTECTED

SQUARE FOOTAGE:

FIRST FLOOR: 440 SQ. FT.
SECOND FLOOR: 523 SQ. FT.
BONUS ROOM: - SQ. FT.
GARAGE: - SQ. FT.
TOTAL: 963 SQ. FT.

OVERALL SIZE: 13'-0" x 38'-0"
MODEL: 2 STORY

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ACCEPTED BY:

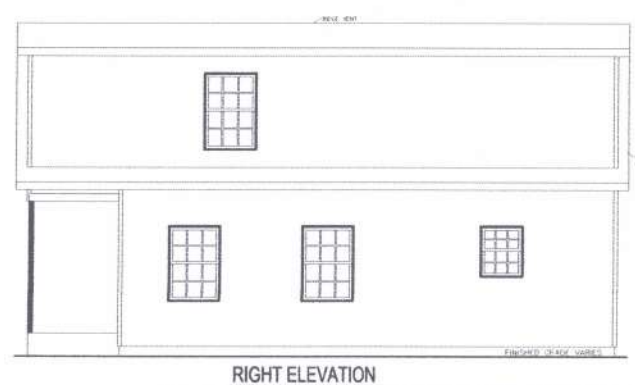
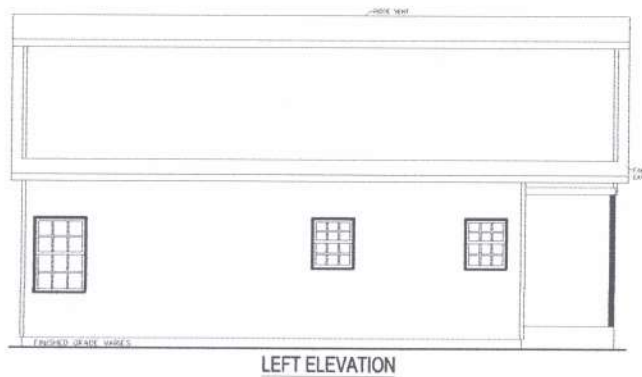
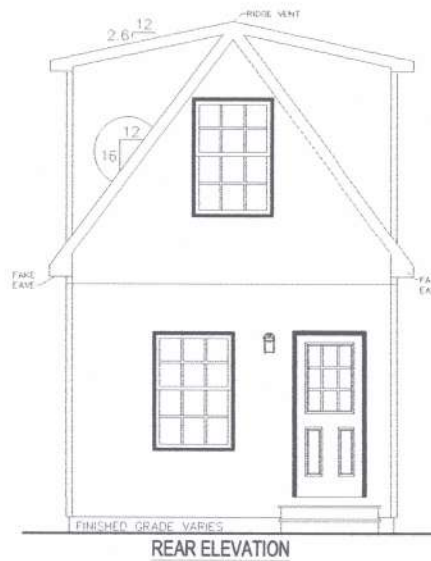
DATE:

TITLE:

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2. GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)

+/- 20'-10" TOP OF SILL TO PEAK
 8'-0" 2ND FLOOR CEILING HEIGHT
 2ND FLOOR FLOOR
 8'-0" 1ST FLOOR CEILING HEIGHT
 1ST FLOOR FLOOR
 TOP OF SILL
 GRADE



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Champion Factory 041
 Champion Modular, Inc.
 10642 S. Susquehanna Trail
 Liverpool, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

COASTAL MODULAR

CUSTOMER/PROJECT:

3BR STACKED "B"

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT:

43880
2 STORY

TITLE:

ELEVATIONS

DRAWN BY: SAN

DATE: 04-01-22

SCALE:

FILENAME: 43880_PD

PD1

SHEET:

ELEVATIONS

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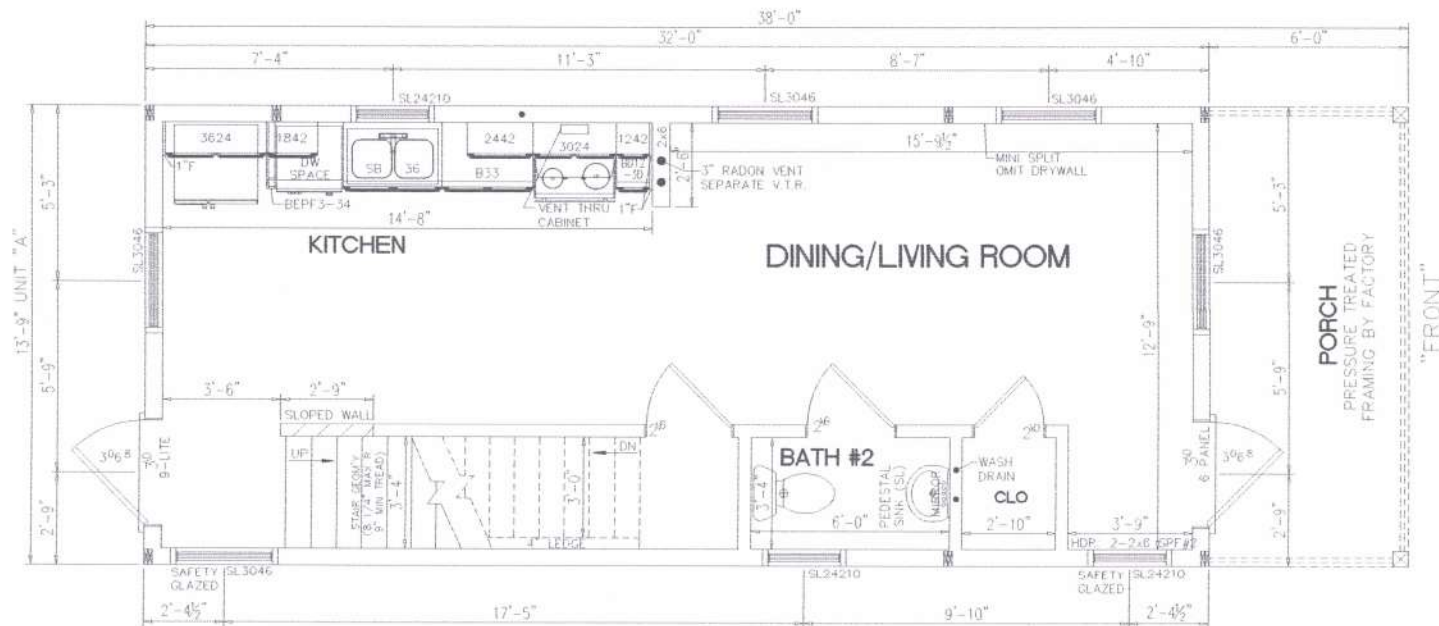
BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

BRACED WALL CALCS REQUIRED



NOTES:

1. 2x6 EXT WALLS @ 16" O.C./2x4 MARR WALLS @ 16" O.C.
2. 8'-0" CLG HT.
3. 2x10 SPF#2 FLOOR JOISTS @ 16" O.C.
4. ROOF SYSTEM TO BE 16" O.C.
5. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS
6. BASED ON 130 VULT MPH WIND LOAD & EXPOSURE "C"
7. SITE LOCATION: PROVIDENCE, RI, PROVIDENCE COUNTY; 30 PSF GROUND SNOW LOAD

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

Champion Factory 041
Champion Modular, Inc.
10642 S. Susquehanna Trail
Liverpool, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

COASTAL MODULAR

CUSTOMER/PROJECT:

3BR STACKED "B"

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT:

43880
2 STORY

TITLE:

FIRST FLOOR
FLOOR PLAN

DRAWN BY/IAN

DATE: 04-01-22

SCALE: 3/16" = 1'-0"

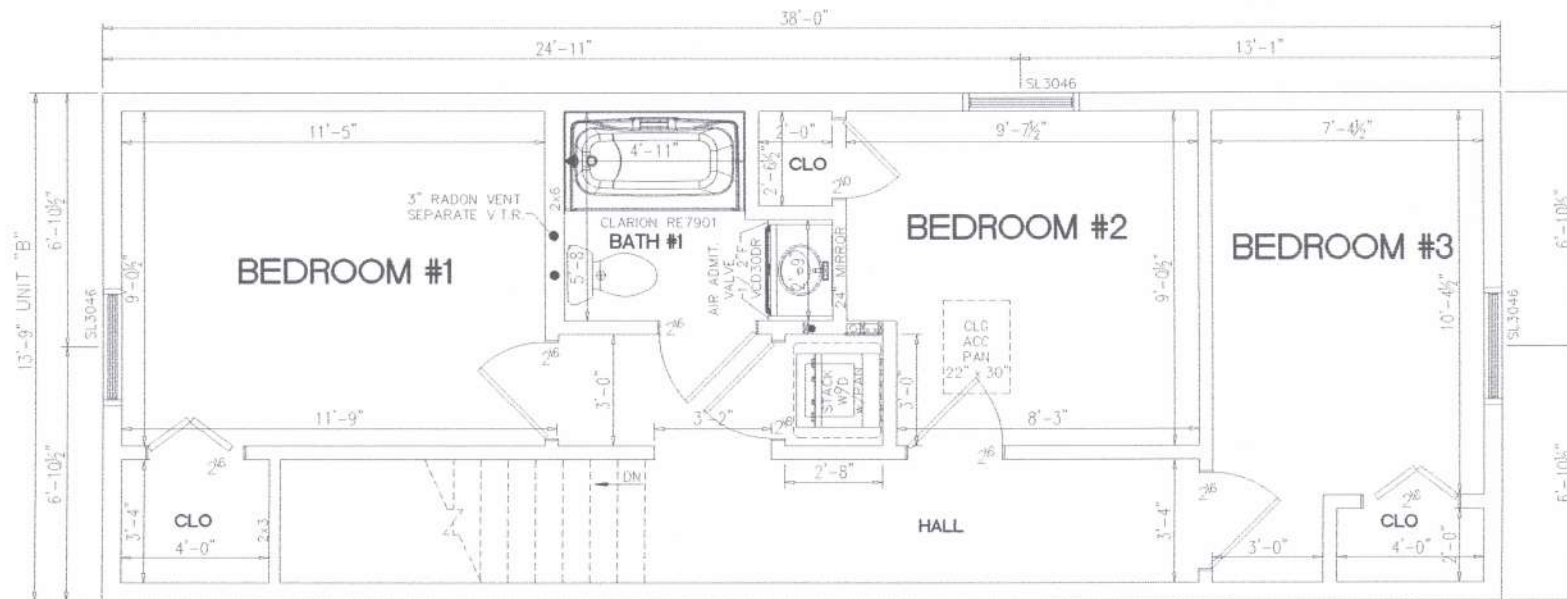
FILENAME: 43880_PD

PD1

SHEET

1ST FLR

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NOTES:

1. 2x6 EXT WALLS @ 16" O.C./2x4 MAPR WALLS @ 16" O.C.
2. 8'-0" CLG HT
3. 2x10 SPF#2 FLOOR JOISTS @ 16" O.C.
4. ROOF SYSTEM TO BE 16" O.C.
5. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

Champion Factory 041
Champion Modular, Inc.
10642 S. Susquehanna Trail
Liverpool, PA 17045



BRAND:

excel
HOMES

BUILDER:

COASTAL MODULAR

CUSTOMER/PROJECT:

3BR STACKED "B"

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT:

**43880
2 STORY**

TITLE:

**SECOND FLOOR
FLOOR PLAN**

DRAWN BY: SAN

DATE: 04-01-22

SCALE: 3/16" = 1'-0"

FILENAME: 43880_PD

PDI

SHEET:

2ND FLR

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SMALL HOUSE CATALOG

1874 OLUF ROAD #207
POINT ROBERTS, WA 98581
+ 1 (416) 789-9277

www.smallhousecatalog.com

DESIGNED BY

Steven A. Oliver for
Small House Catalog, LLC

BY ARCHITECT

PROPERTY OWNER

CONTRACT

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PERMITTING

THIS PLAN MUST BE SUBMITTED
TO A LOCAL CODE ENFORCEMENT
AGENCY. STRUCTURAL
ENGINEERING MAY BE REQUIRED.

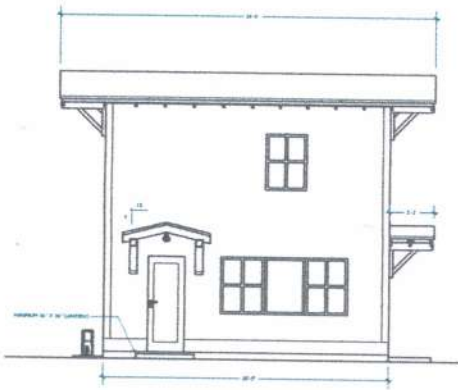
LICENSE TO BUILD

THE BUYER OF THIS PLAN IS
GRANTED A LICENSE TO BUILD
ONE HOUSE FOR PLAN AND NOT
PROFIT AS LONG AS THE HOUSE
RESEMBLES THE HOUSE.

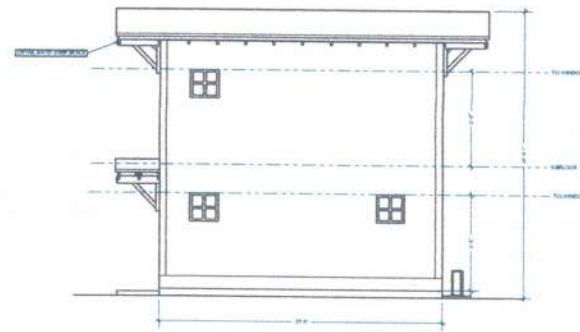
FOR ALL OTHER PROJECTS
ADDITIONAL LICENSES CAN
OBTAINED ONLY BY
PURCHASING THE REQUIRED
ADDITIONAL COPIES OF THIS PLAN
FROM THE SMALL HOUSE
CATALOG WEBSITE.

3D COVER

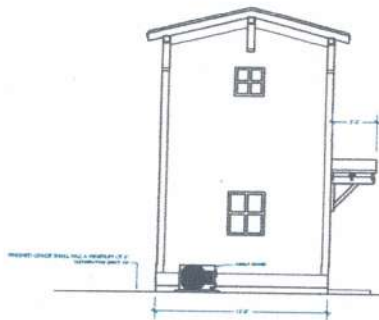
April 2008



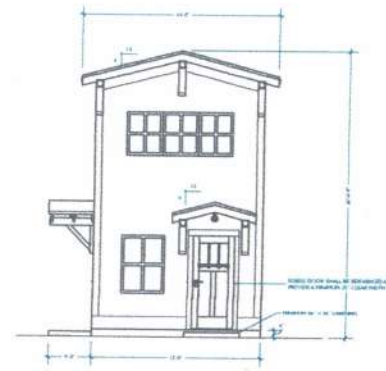
1 ELEVATION 1
SCALE 1/4" = 1'



2 ELEVATION 2
SCALE 1/4" = 1'



3 ELEVATION 3
SCALE 1/4" = 1'



4 ELEVATION 4
SCALE 1/4" = 1'



SMALL HOUSE CATALOG
1874 OLDF ROAD #200
POINT ROBERT, WA 98571
+1 (360) 790-8273
www.smallhousecatalog.com

DESIGNED BY

Shawn A. Delaney for
Small House Catalog LLC

PROJECT NO.

PROJECT NAME

COMMENTS

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PERMITTING

THIS PLAN MUST BE SUBMITTED
TO A LOCAL CODE ENFORCEMENT
AGENCY. STRUCTURAL
ENGINEERING MAY BE REQUIRED.

LICENSE TO BUILD

THE BUILDER OF THIS PLAN IS
GRANTED A LICENSE TO BUILD
ONE HOUSE FOR PLANS ONLY
UNTIL ALL ADULT CODES AT
RELEVANT TO AREA.

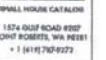
FOR ALIEN PROJECTS
ADDITIONAL LICENSES CAN
OBTAINED FROM THE
PURCHASER OF THE PLANS
FROM THE SMALL HOUSE
CATALOG. REQUEST

BUILDING ELEVATIONS
1/4" = 1'

SHEET NO.

A101

April 2020

Dennis A. Delaney, Sr.
Small House Casting, LLC

PROPOSAL NUMBER

CONTACT

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PERMITTING	
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THE PLAN MUST BE SUBMITTED TO A LOCAL CODE ENFORCEMENT AGENCY. STRUCTURAL ENGINEERING MAY BE REQUIRED.

CENSE TO BUILD

THE OWNER OF THIS PLAN IS GRANTED A LICENSE TO BUILD ONE HOUSE PER PLAN AND MAY PRINT AS MANY COPIES AS NECESSARY TO BUILD.

FOR MULTIPLE PRODUCTS
ADDITIONAL LICENSES CAN
OBTAINED SIMPLY BY
PURCHASING THE REQUIRED
ADDITIONAL COPIES OF THE PLAN
FROM THE SMALL BUSINESS
CALCULUS WEBSITE.

FLOOR PLANS & DETAILS

B-GIT NO.

A201

April 2020



THIS HOUSE IS REPLACING AN EXISTING DWELLING
THERE ARE NO LOT LINE FIRE SEPERATION REQUIREMENTS



ACCESS TO GRADE PROVIDED AND
INSTALLED ON-SITE BY BUILDER
PORCHES, FOUNDATIONS, DECKS NOT PART OF THIS APPROVAL
AND NEED TO BE APPROVED BY LOCAL

FRONT ELEVATION

NOTES:

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2. GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)

BUILDER:

CONTRACTOR: JP CONSTRUCTION
JOHN PAGLIARO
22 KINGS RIDGE ROAD
SOUTH KINGSTON, RI 02879
REGIS. # 7223
DAVE@COASTALMOD.COM

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

JP CONSTRUCTION

CUSTOM:

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

PFS PFS Corporation
Approval Limited to Factory-Built Portion Only
State: Rhode Island - IRC
Signature: *Michelle Floyd*
Title: Staff Plan Reviewer
Date: 07/20/2021

MODIFICATIONS

FN	3-10-21	JPF
SN	5/14/21	ATT
PD4	9-23-20	JPF
PD#5	1/4/21	DUN
PD6	1-14-21	SAW
WEDGE BOX	2-18-21	ATT

PROJECT:

42375
2-STORY

TITLE:

COVER SHEET

DRAWN BY: JPF

DATE: 01-24-20

SCALE: NA

FILENAME: 42375.FIN

SHEET:

COVER

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SITE CONDITIONS:

GROUND SNOW LOAD: 30 PSF
WIND SPEED: 120 MPH = 154 VULT
EXPOSURE: C
SEISMIC CATEGORY: B
USE GROUP: SINGLE FAMILY
CONSTRUCTION TYPE: VS WOOD FRAME UNPROTECTED

SQUARE FOOTAGE:

FIRST FLOOR: 481 SQ. FT.
SECOND FLOOR: 481 SQ. FT.
BONUS ROOM: 372 SQ. FT.
GARAGE: NA SQ. FT.
TOTAL: 1,234 SQ. FT.

OVERALL SIZE: 15'-4" x 30'-0"
MODEL: CUSTOM 2-STORY

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

±/- 26'-4" TOP OF SILL TO PEAK

30# FELT PAPER ON 12/12 ROOF
ICE & WATER SHED ON SHED ROOF

3RD FLOOR FLOOR

7'-4" 2ND FLOOR CEILING HEIGHT

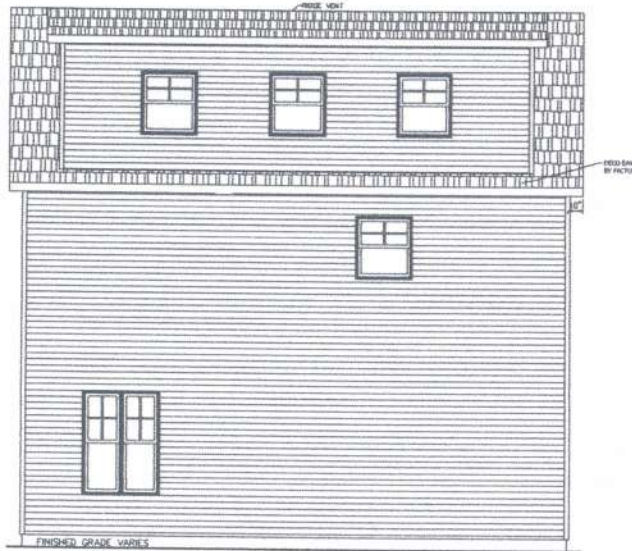
2ND FLOOR FLOOR

8'-0" 1ST FLOOR CEILING HEIGHT

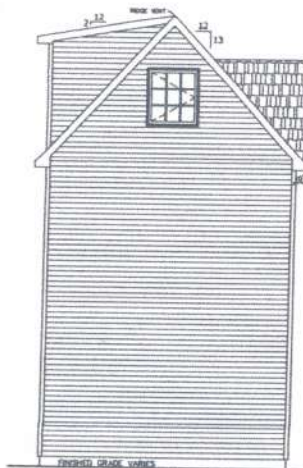
1ST FLOOR FLOOR

TOP OF SILL

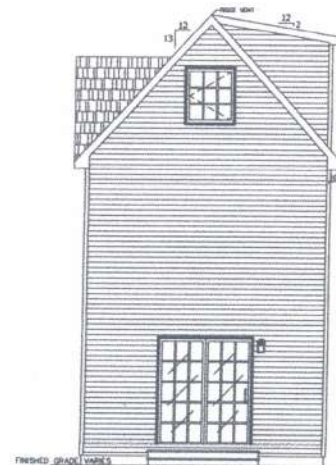
GRADE



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

NOTES:

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LIVERPOOL, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

JP CONSTRUCTION

CUSTOMER

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

PFS Corporation
Northeast Region
APPROVED
Michelle Floyd
07/20/2021
Approval limited to
Factory Built Portion

MODIFICATIONS

PROJECT:

42375
2-STORY

TITLE:

ELEVATIONS

DRAWN BY: STAFF

DATE: 01-24-20

SCALE: N/A

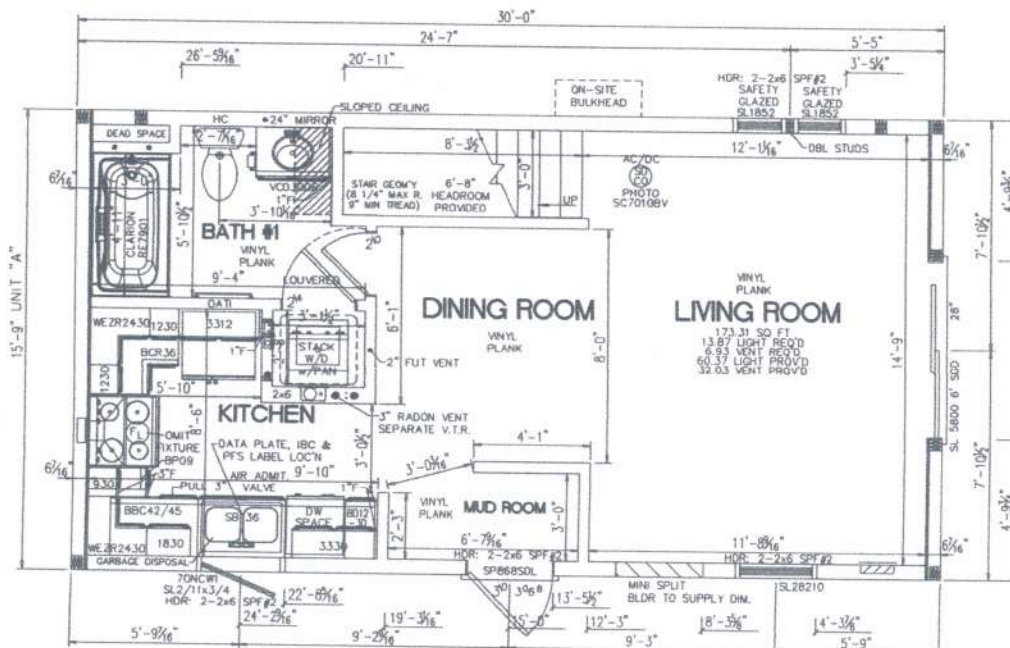
FILENAME: 42375 FN

SHEET:

ELEVATIONS

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BRACED WALL CALCS REQUIRED



- NOTES:
1. 2x6 EXT WALLS @ 16" O.C./2x4 MARR WALLS @ 16" O.C. (EXCEPT AS NOTED)
 2. 8'-0" CLG HT.
 3. 2x10 SPF #2 FLOOR JOISTS @ 12" O.C.
 4. ROOF SYSTEM TO BE 16" O.C.
 5. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS
 6. BASED ON 120 MPH=154 VULT WIND LOAD & EXPOSURE "B"
 7. BLDG INSTALLED HEATING SYSTEM TO COVER A 27,000 BTU LOSS
 8. SITE LOCATION: NARRAGANSETT, RI; WASHINGTON COUNTY; 30 PSF GROUND SNOW LOAD
 9. SMOKE DETECTORS ARE FACTORY WIRED AND FINAL LOCATION IS DETERMINED BY LOCAL FIRE MARSHALL.
 10. INSULATED STAPLES REQUIRED TO SUPPORT ALL WIRING
 11. RANGE HOOD AND BATH FANS ARE VENTED TO EXTERIOR.
 12. AN APPROVED HOUSE WRAP WILL BE INSTALLED UNDER VINYL SIDING
 13. BUILDER SHALL SUPPLY AND INSTALL WHOLE HOUSE VENTILATION. THIS INSTALLATION SHALL BE INSPECTED AND APPROVED BY THE LOCAL JURISDICTION. THE FACTORY TO SUPPLY AND AN ENERGY STAR BATH FAN WITH TIMER IN MASTER BATH
 14. BUILDER SHALL SUPPLY AND INSTALL A DUCT TIGHTNESS AND BLOWER DOOR TEST, ALL TESTING MUST BE DONE BY A RHODE ISLAND QUALIFIED PROFESSIONAL

*** WINDOWS INSTALLED WITHIN 24" OF THE FINISHED FLOOR, THE BUILDER WILL INSTALL WINDOW GUARDS IN ACCORDANCE WITH IRC (2006 IRC, R613.2)(2009 IRC, R612.2)(2012 IRC, R312.2)(2015 IRC, R312.2)

RHODE ISLAND

2015 INTERNATIONAL RESIDENTIAL CODE
w/ AMENDMENTS-(SBC-2)
2015 INTERNATIONAL ENERGY CONSERVATION CODE
w/ AMENDMENTS-(SBC-8)
2017 NEC AS PUBLISHED BY NFPA-(SBC-5)
2015 NFPA 1 AND 101 (450-RICR-00-00-8)
DOOR w/ SWEEP LOCATED AT THE TOP OF THE BASEMENT STAIRS TO CLOSE OFF THE BASEMENT FROM THE THERMAL ENVELOPE OF THE 1ST STORY

CHASE IS FIRESTOPPED AT THE FLOOR AND CEILING w/ APPROVED MATERIALS. FRAMED w/ NON-COMBUSTIBLE MATERIAL AND w/ 2" MINIMUM CLEARANCE TO COMBUSTIBLES.

SITE ADDRESS:
VICKSBURG PLACE
NEWPORT, RI 02840
NEWPORT COUNTY

BUILDER INFORMATION:
JP CONSTRUCTION
(JOHN PAGLIARO)
22 KINGS RIDGE ROAD
SOUTH KINGSTOWN, RI 02879
R.I. REGIS. #7223
dave@coastalmod.com

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

JP CONSTRUCTION

CUSTOMER:

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

PFS Corporation
Northeast Region
APPROVED
Michelle Floyd
07/20/2021
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Factory Built Portion

MODIFICATIONS

PROJECT:

42375
2-STORY

TITLE:

FIRST FLOOR
FLOOR PLAN

DRAWN BY: STAFF

DATE: 01-24-20

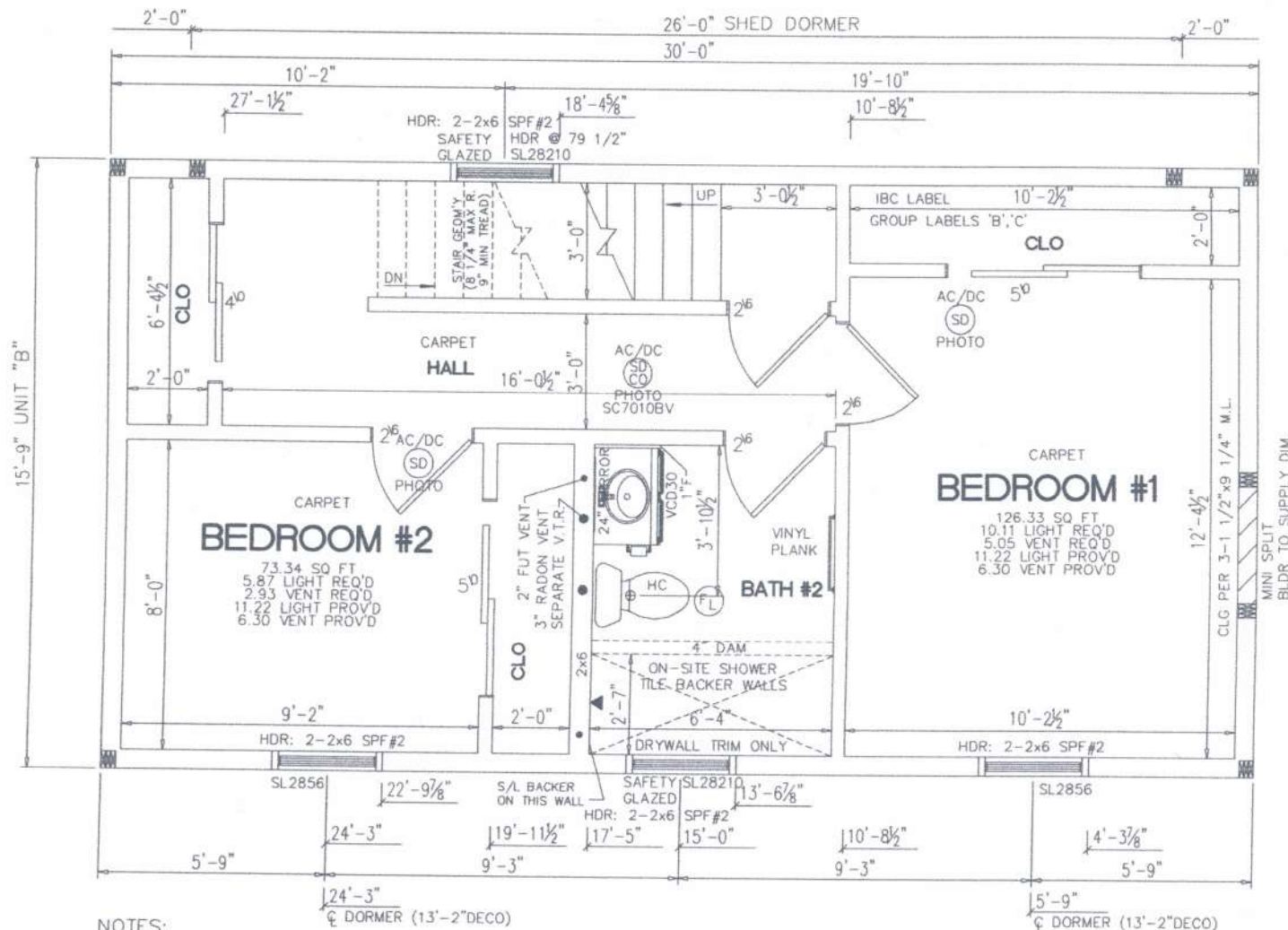
SCALE: N/A

FILENAME: 42375.FIN

SHEET:

1ST FLR

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NOTES:

1. 2x6 EXT WALLS @ 16" O.C./2x4 MARR WALLS @ 16" O.C. (EXCEPT AS NOTED)
2. 7'-6" CLG HT.
3. 2x10 SPF#2 FLOOR JOISTS @ 12" O.C.
4. ROOF SYSTEM TO BE 16" O.C.
5. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

SHEET:

2ND FLR

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CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

CUSTOMER:

ENGINEER'S / ARCHITECT'S SEAL

APPROVER'S SEAL

PFS Corporation
Northeast Region
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PROJECT:

42375
2-STORY

TITLE:

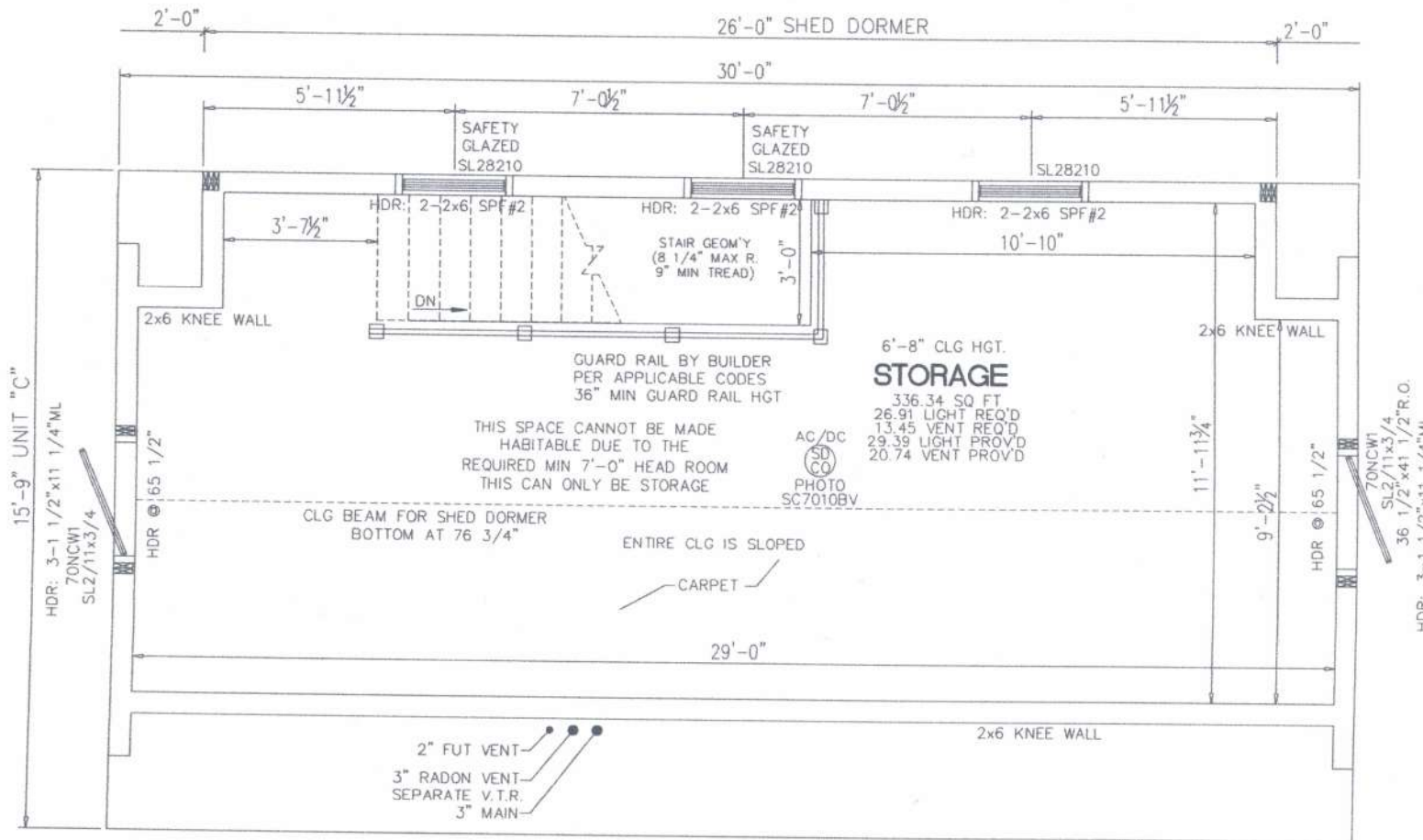
SECOND FLOOR
FLOOR PLAN

DRAWN BY: STAFF

DATE: 01-24-20

SCALE: NA

FILENAME: 42375 FN



FINISHED 3RD FLOOR WEDGE BOX

ALL FINISH MATERIALS SUPPLIED AND INSTALLED BY FACTORY

NOTES:

1. 2x6 EXT WALLS @ 16" O.C.(EXCEPT AS NOTED)
2. 6'-8" CLG HT.
3. ROOF SYSTEM TO BE 16" O.C.
4. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS
5. CLG BEAM OVER UNIT 'C' TO BE: 3-1 1/2"x22"x30'-0" LVL

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:	DATE:
TITLE:	

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

JP CONSTRUCTION

CUSTOMER:

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

PFS Corporation
Northeast Region
APPROVED
Michelle Floyd
07/20/2021
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MODIFICATIONS

PROJECT:

42375
2-STORY

TITLE:

THIRD FLOOR
FLOOR PLAN

DRAWN BY: STAFF

DATE: 01-24-20

SCALE: 3/16" = 1'-0"

FILENAME: 42375.FIN

SHEET:

3RD FLR

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Accessory Dwelling Units (ADUs) in Rhode Island

In Rhode Island, an ADU is defined as a self-contained residential unit on the lot of an existing dwelling — for example, an in-law apartment, garage conversion, basement or detached cottage on the same lot. **Statewide “by-right” framework**

Recent legislation (R.I. Gen. Laws § 45-24-73) mandates that all municipalities must allow at least one ADU per lot under certain conditions. For example, an ADU may be allowed if the lot is owner-occupied (or meets other criteria such as lot size or conversion within the footprint) and the property is zoned for residential use. **Size, bedrooms & other limitations**

A studio or one-bedroom ADU may be up to 900 sq ft or up to 60% of the floor area of the principal dwelling, whichever is less. A two-bedroom ADU may be up to 1,200 sq ft or 60% of the principal dwelling, whichever is less. Municipalities cannot impose standards more stringent than for other accessory structures. **Zoning, parking and use**

Municipalities may apply zoning requirements (setbacks, lot coverage, etc.) but cannot require special use permits for ADUs that meet state criteria. Typically, up to one parking space per bedroom may be required. Municipalities also cannot require separate utility service lines solely due to an ADU. **Uses and restrictions**

ADUs may be occupied by anyone, not just family members. Short-term rental use (under 30 days) is restricted in many areas. **Modular and Prefabricated ADUs**

Modular ADUs—sometimes called prefabricated or factory-built units—are fully or partially constructed off-site in a controlled manufacturing environment and then transported to the property for installation. These units must meet the same state and local building codes as site-built ADUs and can provide faster, cost-effective construction with reduced on-site disruption.

Key benefits include:

- Shorter construction timelines (often 8–12 weeks after permitting).
- Predictable costs and minimal weather delays.
- High-quality construction and energy efficiency.
- Flexibility in design, including detached cottages or backyard studios.
- Eligibility for the same ADU permitting process under Rhode Island law.

Homeowners should verify that the modular ADU manufacturer is licensed and compliant with Rhode Island’s building and energy codes. RIHousing and some local lenders offer financing options specifically for ADU or modular construction projects. **Benefits and purpose**

- Increases housing supply and flexibility statewide.
- Supports multigenerational living and aging in place.
- Offers supplemental income and increases property value.
- Provides sustainable, cost-effective modular construction options.

Action steps for homeowners

1. Verify zoning and eligibility for your property.
2. Review municipal permit requirements.
3. Confirm size limits and code compliance.
4. Ensure proper registration and occupancy compliance.
5. Check rental and occupancy rules if leasing.
6. For modular ADUs, choose a licensed manufacturer and confirm compatibility with site conditions.
7. Consult your local building office early. In summary: Rhode Island’s ADU policy establishes statewide “by-right” access for many homeowners, promoting flexible, small-scale housing options — including modular ADUs — while maintaining local zoning input.

