

COASTAL MODULAR HOMES

Modern. Efficient. Built for You.

Proposal Summary

Prepared for: **Rhode Island Executive Office of Housing**

Prepared by: **Dave Zoglio**

■ 401-556-5698 ☎■ dave@coastalmod.com

Date: **November 7, 2025**

Project Overview

This proposal outlines preliminary estimates and specifications for a selection of modular home models designed and built by Coastal Modular. Each plan features factory-built modules constructed to meet or exceed local building codes, with customizable finishes, site work, and delivery options.

Cost Estimates Chart

Category	Description	Est. Cost / Notes
Product Cost	Sq. ft. cost of home modules (excludes delivery).	\$116 – \$195 per sq. ft.
Delivery	Transportation of modules to site (varies by distance).	\$4,800 per carrier
Set Crew	Labor for on-site setting of modular boxes.	\$9,000 – \$14,000
Crane	Crane rental and operation for module placement.	\$3,800
Foundation / Cement Floor	Concrete foundation, piers, or slab installation as required for home placement.	\$88 per linear ft.
Basement Cement Floor	Poured cement floor for basement level.	\$8 per sq. ft.
Electrical	Panel hookup and utility connections.	\$9,600 – \$14,000
Plumbing	Water/sewer/septic tie-ins and fixture connections.	\$7,000
HVAC	Installation and connection of heating and cooling systems.	\$11,000 – \$22,000
Carpentry	Trim, stairs, drywall, and finish carpentry.	\$10,400
Permits	Local building permits, energy testing, inspections.	\$3,000 – \$5,000
Total Estimated Cost		

Pricing Notes:

Price is subject to change due to material costs and/or unforeseen conditions and/or changes. This estimate is neither a contract nor a bill. It is our best guess as the total price to complete the work stated above.

Model Summaries

Oberlin Ranch

Bedrooms: 3 **Bathrooms:** 2 **Sq. Ft.:** 1,280

Highlights: Single-story living with open concept kitchen/living area; ideal for level lots or retirement builds.

Timeline: 10–12 weeks.

Est. Cost: \$146,000 (\$116/sq')

Eden Cape

Bedrooms: 2 **Bathrooms:** 2 **Sq. Ft.:** 1,173

Highlights: Compact Cape design with optional unfinished second-story expansion.

Timeline: 10–13 weeks.

Est. Cost: \$159,000 (\$135/sq')

2BR Stacked

Bedrooms: 2 **Bathrooms:** 1 **Sq. Ft.:** 963

Highlights: Efficient narrow-lot footprint; entry-level modular suitable for infill or urban lots.

Timeline: 12–14 weeks.

Est. Cost: \$145,000 (\$150/sq')

3BR Stacked

Bedrooms: 3 **Bathrooms:** 2 **Sq. Ft.:** 963

Highlights: Two-story plan maximizing vertical space; generous main-floor living area.

Timeline: 12–15 weeks.

Est. Cost: \$150,000 (\$155/sq')

Rhode Island Tiny Home

Bedrooms: 2 **Bathrooms:** 1 **Sq. Ft.:** 480

Highlights: Compact modern tiny home ideal for ADU or coastal living; efficient footprint with open-plan layout.

Timeline: 10–12 weeks.

Est. Cost: \$93,815 (\$195/sq')

The Newport

Bedrooms: 3 **Bathrooms:** 2.5 **Sq. Ft.:** 1,294

Highlights: Spacious family design; optional finished attic ("wedge box") for added storage or living area.

Timeline: 14–16 weeks.

Est. Cost: \$205,000 (\$158/sq')

Scope of Work

- Delivery and installation of modular home per approved plans.
- On-site assembly including mechanical tie-ins and finish work.
- Coordination with local subcontractors for utilities and permits.
- Final inspection and turnover with one-year limited warranty on structure and workmanship.

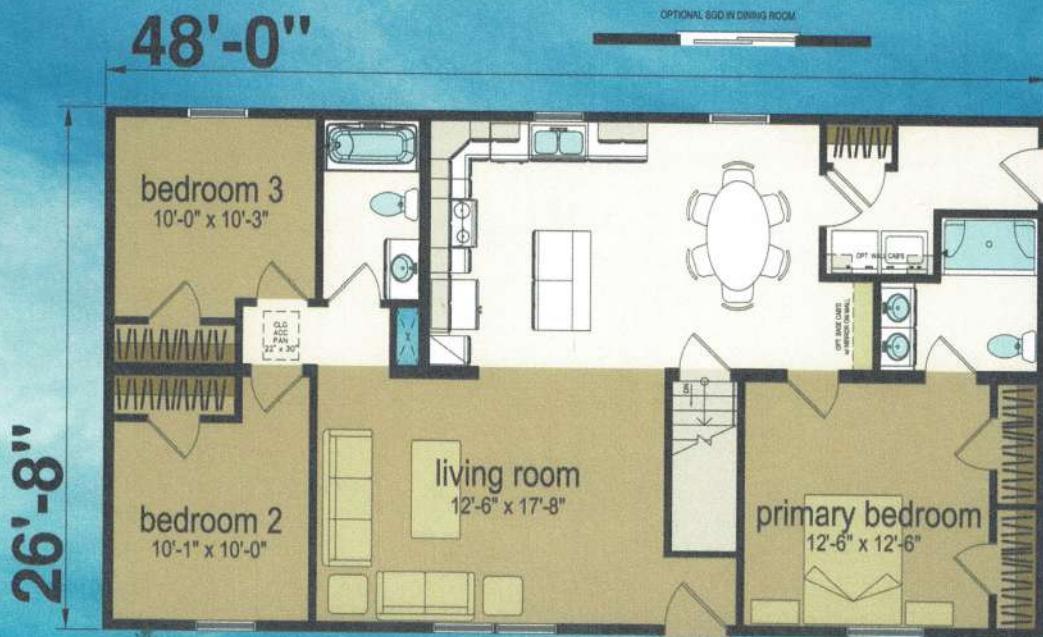
Note: Due to fixed costs, square foot price is higher as the square footage is decreased.

Oberlin Ranch

Three Bedroom

Two Bathroom

1,280 Sq. Ft.



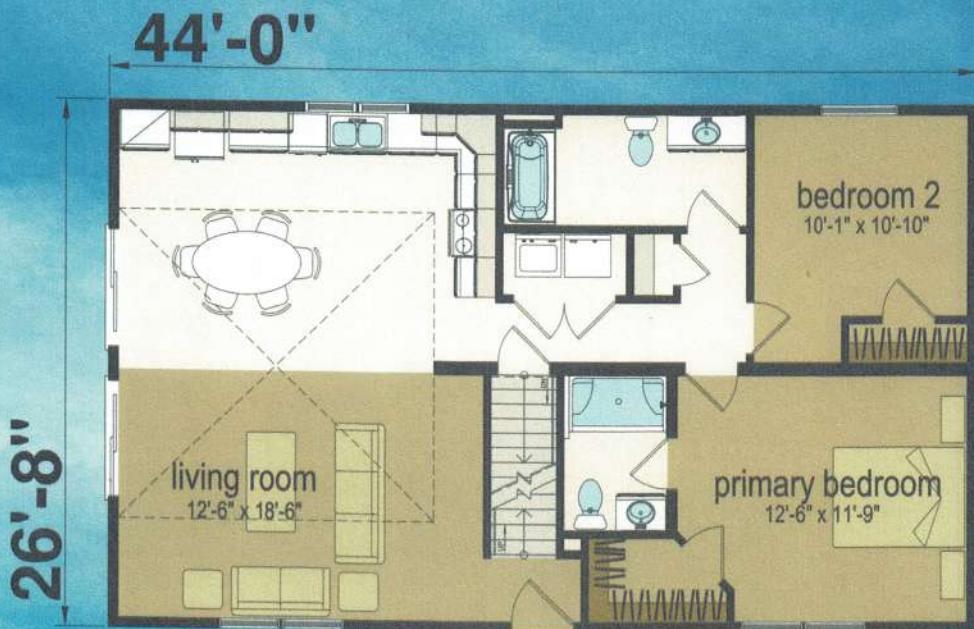
Eden Cape

Two Bedroom

Two Bathroom

1,173 Sq. Ft.

(Proposed second story floorplan is optional)





THIS HOME HAS BEEN DESIGNED SPECIFICALLY FOR:

2BR SPEC

ADDRESS
PROVIDENCE, RI 02909
PROVIDENCE COUNTY



FRONT ELEVATION

NOTES:

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY
2. GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)

BUILDER:

COASTAL
MODULAR

532 BIG WATER ROAD
WAKEFIELD, RI 02879

REG#

Champion Factory 041
Champion Modular, Inc.
10642 S. Susquehanna Trail
Liverpool, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:
COASTAL MODULAR

CUSTOMER/PROJECT:
2BR SPEC

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT:

43749
2 STORY

TITLE:

COVER SHEET

DRAWN BY SAN

DATE: 01-24-22

SCALE:

FILENAME: 43749.PD

PDI

SHEET:

COVER

SITE CONDITIONS:

GROUND SNOW LOAD:	30 PSF
WIND SPEED:	130 VULT MPH
EXPOSURE:	C
SEISMIC CATEGORY:	B
USE GROUP:	SINGLE FAMILY
CONSTRUCTION TYPE:	V8 WOOD FRAME UNPROTECTED

SQUARE FOOTAGE:

FIRST FLOOR:	440 SQ. FT.
SECOND FLOOR:	523 SQ. FT.
BONUS ROOM:	- SQ. FT.
GARAGE:	- SQ. FT.
TOTAL:	963 SQ. FT.
OVERALL SIZE:	13'-0" x 38'-0"
MODEL:	2 STORY

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

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4'-2 1/2" TOP OF SILL TO PEAK

8'-0" 2ND FLOOR CEILING HEIGHT

2ND FLOOR FLOOR

8'-0" 1ST FLOOR CEILING HEIGHT

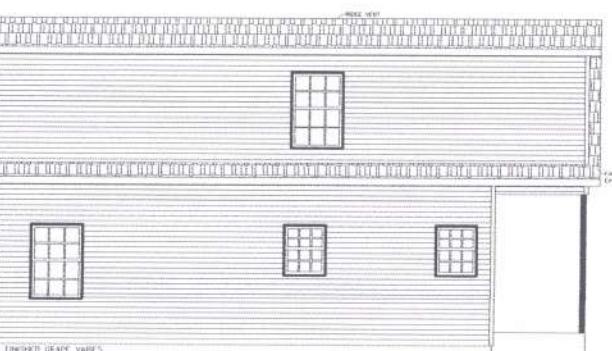
1ST FLOOR FLOOR

TOP OF SILL
GRADE

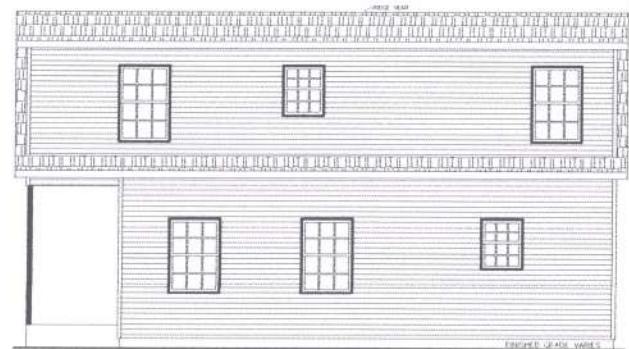


REAR ELEVATION

ROOF LINE



LEFT ELEVATION



RIGHT ELEVATION

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:

DATE:

TITLE:

NOTES:

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Champion Modular, Inc.
10642 S. Susquehanna Trail
Liverpool, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

COASTAL MODULAR

CUSTOMER / PROJECT:

2BR SPEC

ENGINEER'S / ARCHITECT'S SEAL

APPROVING SEAL

MODIFICATIONS

PROJECT: 43749
2 STORY

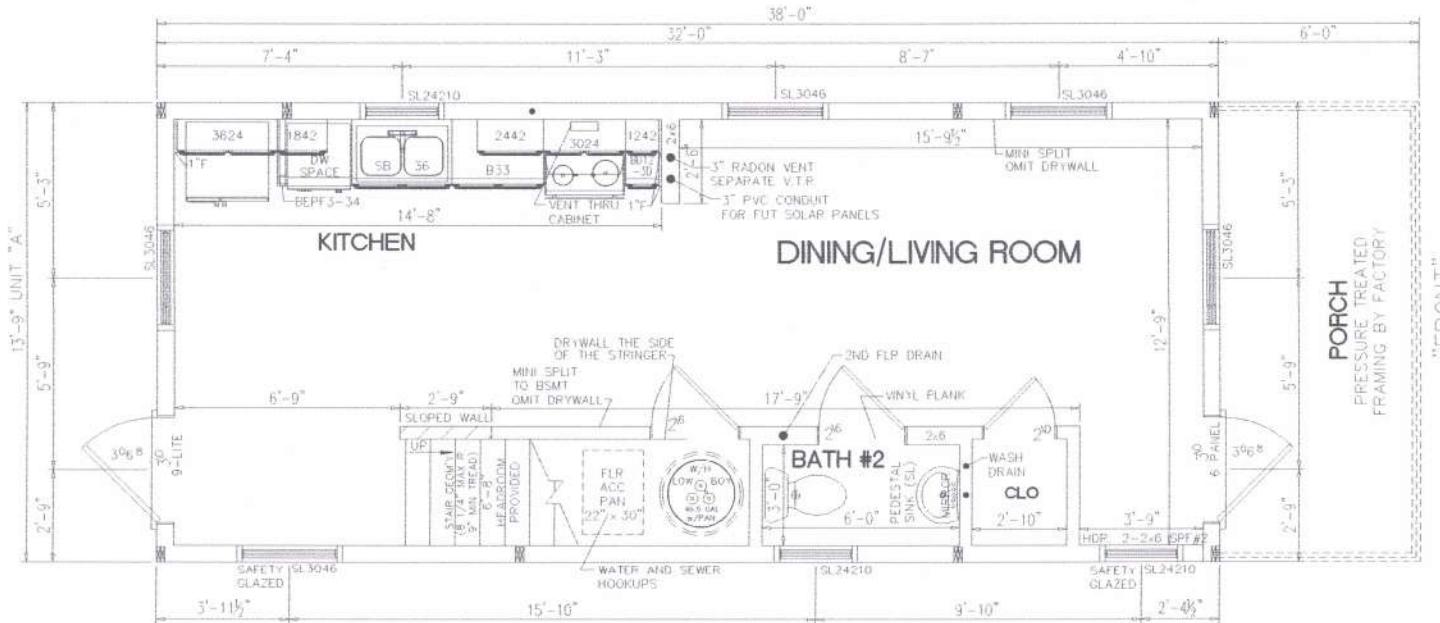
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DRAWN BY: SAN
DATE: 01-24-22
SCALE:
FILENAME: 43749 PD
PDI

SHEET
ELEVATIONS

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BRACED WALL CALCS REQUIRED



BUILDER / OWNER SIGNATURES:

ACCEPTED BY:
TITLE:

DATE:

Champion Factory 041
Champion Modular, Inc.
10642 S. Susquehanna Trail
Liverpool, PA 17045

**CHAMPION
MODULAR**

BRAND:

**excel
HOMES**

BUILDER
COASTAL MODULAR

CUSTOMER/PROJECT
2BR SPEC

ENGINEER'S / ARCHITECT'S SEAL

APPROVING SEAL

MODIFICATIONS

PROJECT:
43749
2 STORY

TITLE:
FIRST FLOOR
FLOOR PLAN

DRAWN BY: SAN
DATE: 01-24-22
SCALE: 3/16" = 1'-0"
FILENAME: 43749.PD
PDF

SHEET:
1ST FLR

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Liverpool, PA 17045

CHAMPION
MODULAR

BRAND

excel
HOMES

BUILDER:
COASTAL MODULAR

CUSTOMER/PROJECT:
2BR SPEC

ENGINEER'S / ARCHITECT'S SEAL

APPROVING SEAL

MODIFICATIONS

PROJECT:
43749
2 STORY

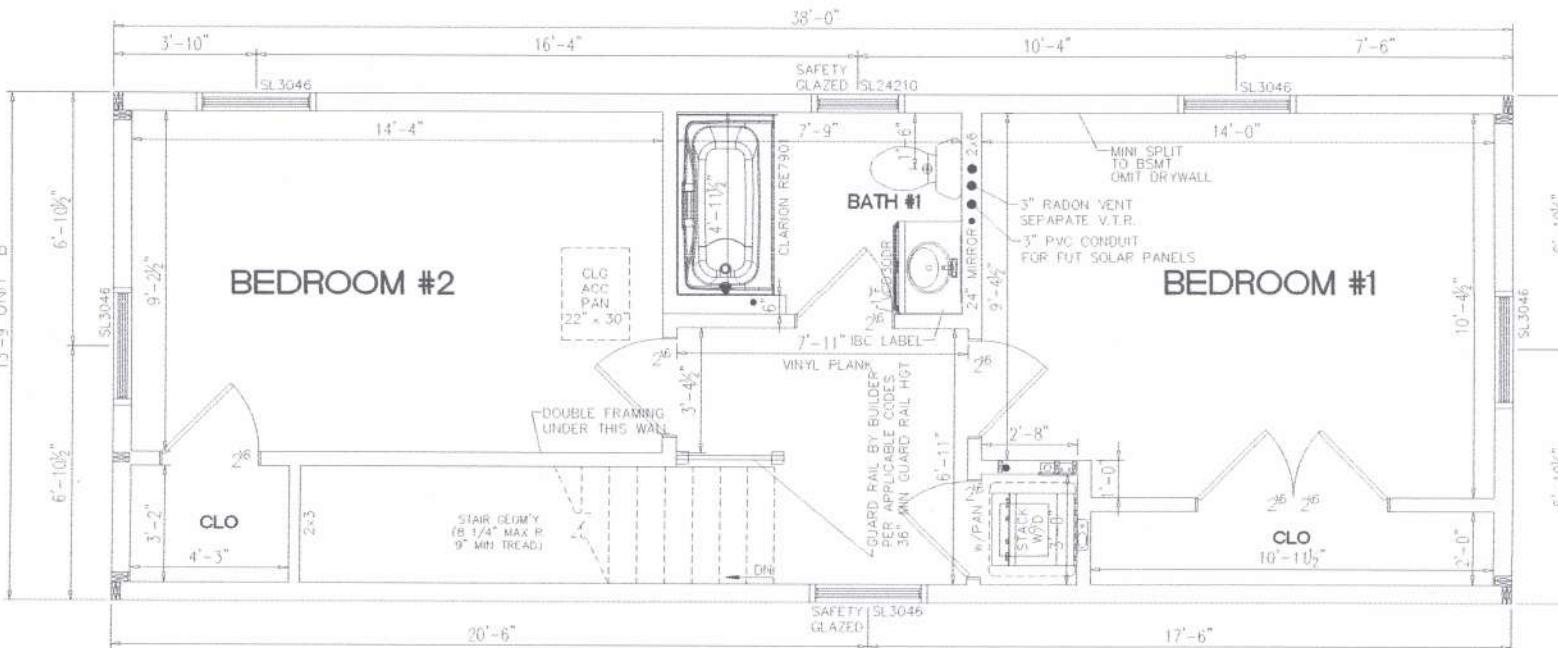
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FLOOR PLAN

DRAWN BY/SAN
DATE:01-24-22
SCALE:3/16" = 1'-0"
FILENAME:43749.PD
PDI

SHEET

2ND FLR

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NOTES:

1. 2x6 EXT WALLS @ 16" O.C./2x4 MAPR WALLS @ 16" O.C.
2. 8'-0" CLG HT.
3. 2x10 SPF#2 FLOOR JOISTS @ 16" O.C.
4. ROOF SYSTEM TO BE 16" O.C.
5. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS.

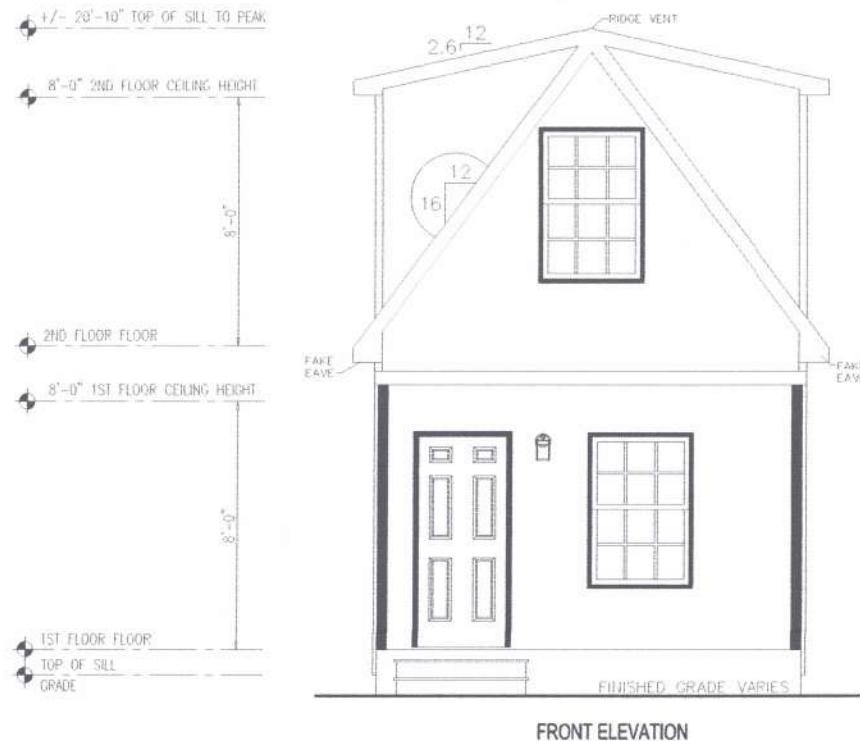
BUILDER / OWNER SIGNATURES:

ACCEPTED BY: _____ DATE: _____
TITLE: _____

THIS HOME HAS BEEN DESIGNED SPECIFICALLY FOR:

3BR STACKED "B"

ADDRESS
PROVIDENCE, RI 02909
PROVIDENCE COUNTY



NOTES:

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2. GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)

BUILDER:

COASTAL MODULAR

532 BIG WATER ROAD
WAKEFIELD, RI 02879
REG#

Champion Factory D41
Champion Modular, Inc.
10642 S. Susquehanna Trail
Liverpool, PA 17045

CHAMPION
MODULAR

BRAND

excel
HOMES

BUILDER:
COASTAL MODULAR

CUSTOMER/PROJECT:
3BR STACKED "B"

ENGINEER'S / ARCHITECT'S SEAL

APPROVING'S SEAL

MODIFICATIONS

PROJECT

43880
2 STORY

TITLE:

COVER SHEET

DRAWN BY: SAN

DATE: 04-01-23

SCALE:

FILENAME: 43880 PD

PD1

SHEET:

COVER

SITE CONDITIONS:

GROUND SNOW LOAD:	30	PSF
WIND SPEED:	130	VOLT MPH
EXPOSURE:	C	
SEISMIC CATEGORY:	B	
USE GROUP:	SINGLE FAMILY	
CONSTRUCTION TYPE:	V8 WOOD FRAME UNPROTECTED	

SQUARE FOOTAGE:

FIRST FLOOR:	440	SQ. FT.
SECOND FLOOR:	523	SQ. FT.
BONUS ROOM:	-	SQ. FT.
GARAGE:	-	SQ. FT.
TOTAL:	963	SQ. FT.
OVERALL SIZE	13'9" x 38'7"	
MODEL:	2 STORY	

BUILDER / OWNER SIGNATURES:

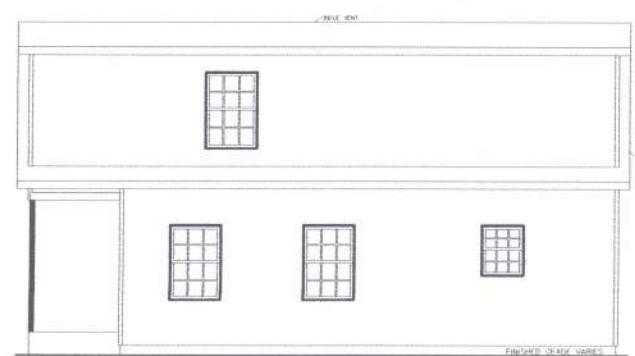
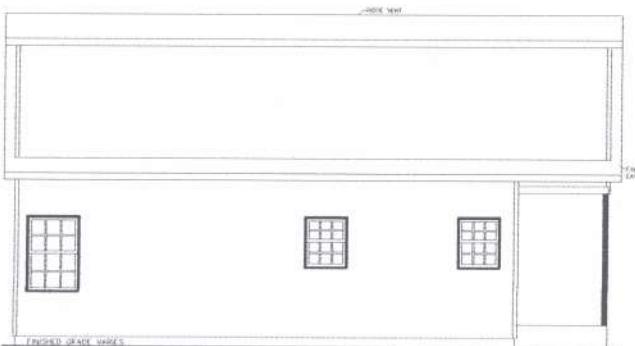
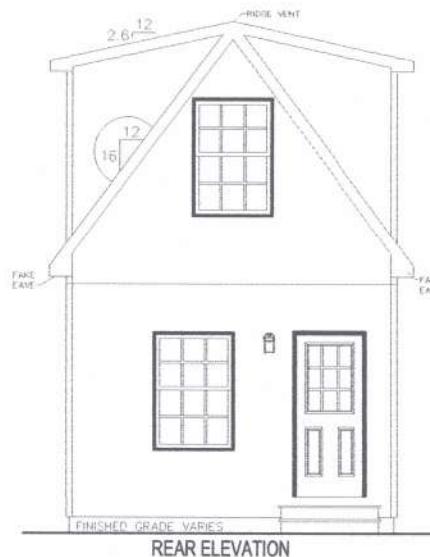
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DATE:

TITLE:

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+/- 20'-10" TOP OF SILL TO PEAK
 8'-0" 2ND FLOOR CEILING HEIGHT
 8'-0" 2ND FLOOR FLOOR
 8'-0" 1ST FLOOR CEILING HEIGHT
 8'-0" 1ST FLOOR FLOOR
 TOP OF SILL
 GRADE



BUILDER / OWNER SIGNATURES:

ACCEPTED BY: _____ DATE: _____
TITLE: _____

NOTES:

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY

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 10642 S. Susquehanna Trail
 Liverpool, PA 17045

**CHAMPION
MODULAR**

BRAND:

**excel
HOMES**

BUILDER: COASTAL MODULAR

CUSTOMER/PROJECT: 3BR STACKED "B"

ENGINEER'S / ARCHITECT'S SEAL

APPROVING SEAL

MODIFICATIONS

PROJECT: 43880
2 STORY

TITLE: ELEVATIONS

DRAWN: BISAN
DATE: 04-01-22
SCALE:
FILENAME: 43880.PD
PDI

SHEET: ELEVATIONS

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Liverpool, PA 17045

**CHAMPION
MODULAR**

BRAND:



BUILDER:
COASTAL MODULAR

CUSTOMER/PROJECT:
3BR STACKED "B"

ENGINEER'S / ARCHITECT'S SEAL

APPROVING SEAL

MODIFICATIONS

PROJECT:
43880
2 STORY

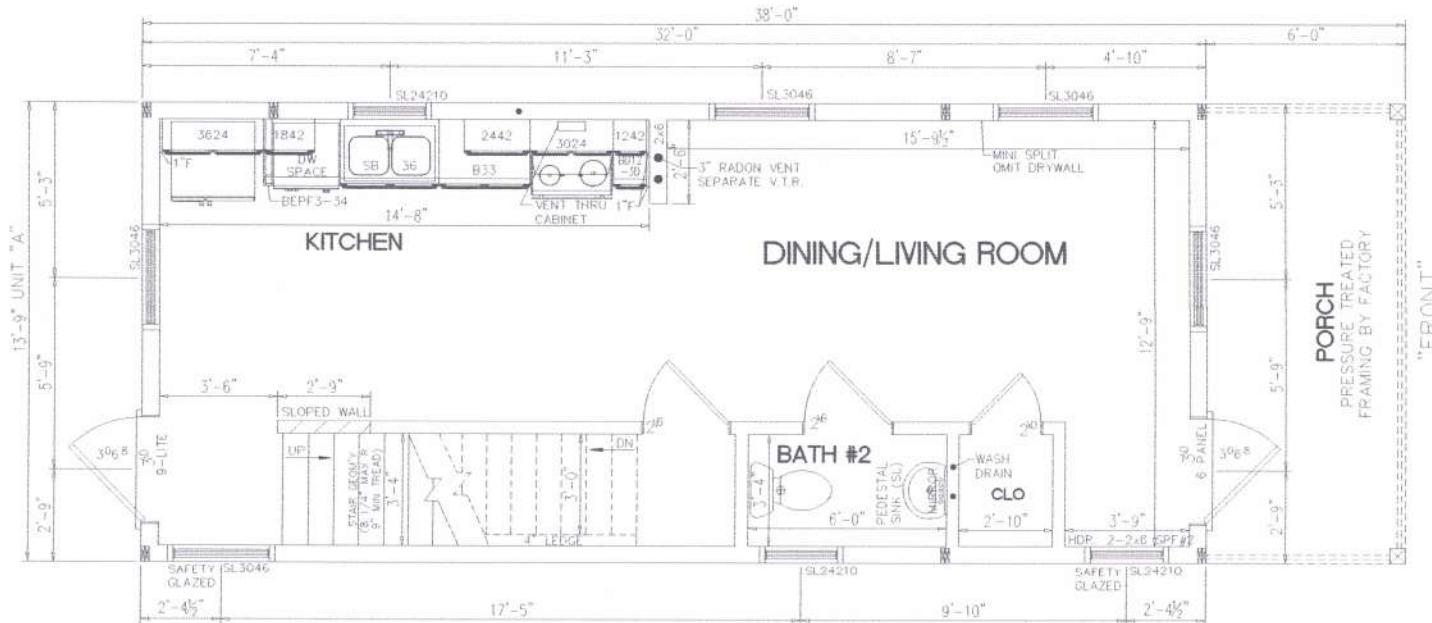
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**FIRST FLOOR
FLOOR PLAN**

DRAWN BY/AT:
DATE: 04-01-22
SCALE: 3/16" = 1'-0"
FILENAME: 43880_P0
PDI

SHEET
1ST FLR

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BRACED WALL CALCS REQUIRED



NOTES:

1. 2x6 EXT WALLS @ 16" O.C./2x4 MARR WALLS @ 16" O.C.
2. 8'-0" CLG HT.
3. 2x10 SPF#2 FLOOR JOISTS @ 16" O.C.
4. ROOF SYSTEM TO BE 16" O.C.
5. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS
6. BASED ON 130 MPH WIND LOAD & EXPOSURE "C"
7. SITE LOCATION: PROVIDENCE, RI; PROVIDENCE COUNTY; 30 PSF GROUND SNOW LOAD

BUILDER / OWNER SIGNATURES:

ACCEPTED BY: _____ DATE: _____
TITLE: _____

Champion Factory 041
Champion Modular, Inc.
10642 S. Susquehanna Trail
Liverpool, PA 17045

CHAMPION
MODULAR

BRAND

excel
HOMES

BUILDER[®]
COASTAL MODULAR

CUSTOMER/PROJECT

APPROVING SEAL

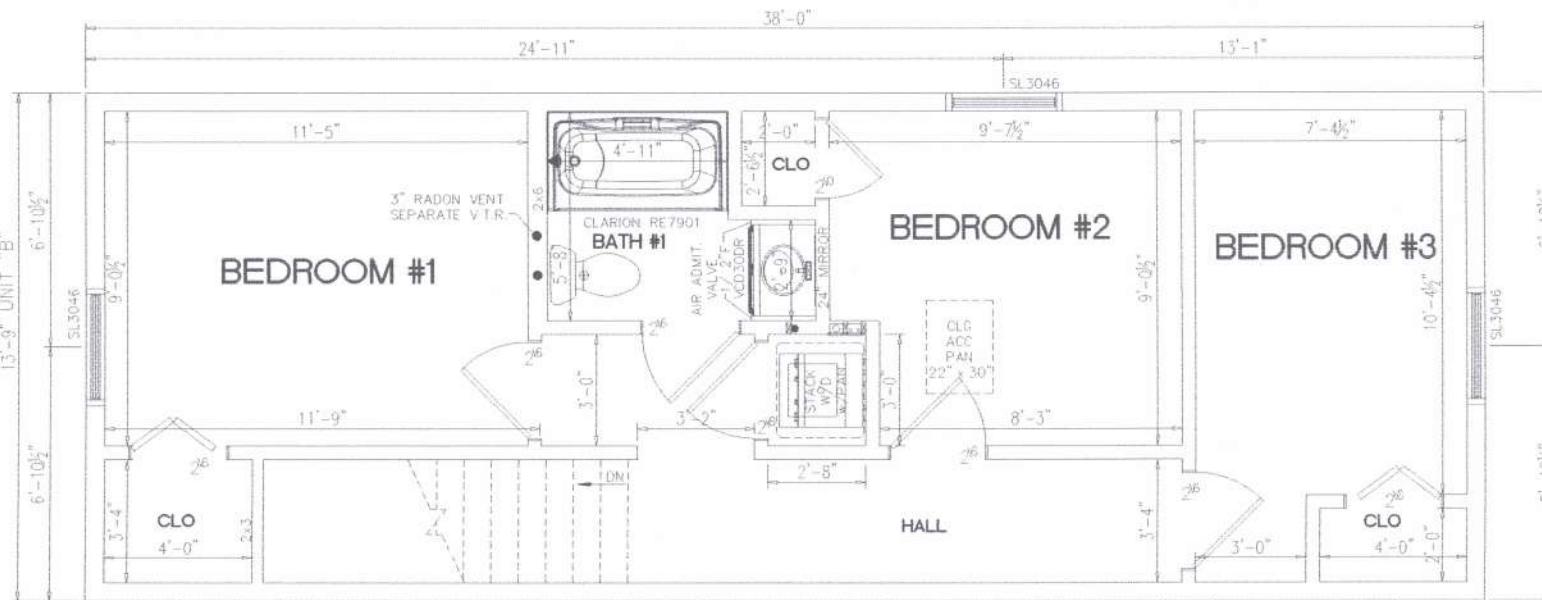
MODIFICATION

PROJECT: 43880
2 STORY

ROLE: SECOND FLOOR
FLOOR PLAN

DRAWN BY SAN
DATE: 04-01-22
SCALE 3/16" = 1'-0"
FILE NAME: 43880 PD
PDI

SHEET 2ND FLR



110

- 1 2x6 EXT WALLS @ 16" O.C./2x4 MPR WALLS @ 16" O.C.
- 2 8'-0" CLG HT
- 3. 2x10 SPF#2 FLOOR JOISTS @ 16" O.C.
- 4 ROOF SYSTEM TO BE 16" O.C.
- 5. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS

BUILDER / OWNER SIGNATURES:

ACCEPTED BY

104

TITLE



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SHC

SMALL HOUSE CATALOG

1524 OULY ROAD #200
POINT ROBERTS, WA 98281
+1 (464) 707-0272

www.smallhousecatalog.com

DESIGNED BY

Shawn A. Oliver AIA
Small House Catalog, LLC

RTK 2009020

PROPERTY DETAILS

CONTACT

PERMITTING

THIS PLAN MUST BE SUBMITTED
TO A LOCAL CODE ENFORCEMENT
AGENCY. STRUCTURAL
ENGINEERING MAY BE REQUIRED.

LICENSE TO BUILD

THE AUTHOR OF THIS PLAN IS
NOT RESPONSIBLE FOR THE
ONE HOUSE PER PLAN AND ANY
PRINT AS MANY COPIES AS
NECESSARY.

FOR MULTIPLE PROJECTS,
ADDITIONAL JACKETES CAN
BE PURCHASED.
PURCHASE THE REQUIRED
NUMBER OF COPIES OF THIS PLAN
FROM THE SMALL HOUSE
CATALOG WEBSITE.

3D COVER

April 2009



SMALL HOUSE CATALOG

1574 GULF ROAD #202

POINT ROBERT, WA 98281

• 1 (410) 799-9227

www.smallhousecatalog.com

DESIGNED BY

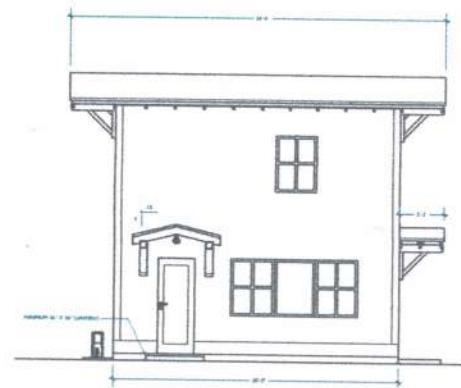
Steve A. Geller for

Small House Catalog LLC

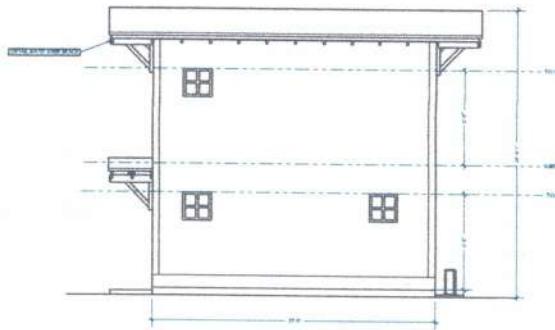
SPC DRAWINGS

PROPERTY DRAWINGS

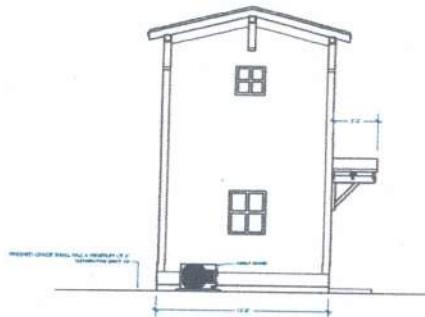
CONTACT



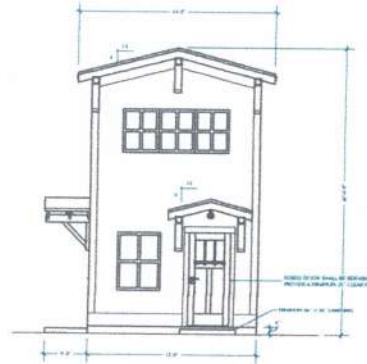
1 ELEVATION 1
SCALE 1/8" = 1'



2 ELEVATION 2
SCALE 1/8" = 1'



3 ELEVATION 3
SCALE 1/8" = 1'



4 ELEVATION 4
SCALE 1/8" = 1'

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PENMITTING

THE PLANS MUST BE SUBMITTED TO A LOCAL CODE ENFORCEMENT AUTHORITY FOR APPROVAL. AN ENGINEER MAY BE REQUIRED.

LICENSE TO BUILD

THE COST OF THE PLANS, GATHER A LICENSE TO BUILD AND BUILD THE HOUSE PER PLANS AND ANY PERMIT FEES ARE THE RESPONSIBILITY OF THE BUILDER.

FOR MULTIPLE PROJECTS ADDITIONAL DRAWINGS CAN BE ORDERED. PLEASE PURCHASING THE REQUIRED NUMBER OF ADDITIONAL PLANS FROM THE SMALL HOUSE CATALOG WEBSITE.

BUILDING ELEVATIONS

12" = 1'

HEET NO.

A101

April 2020



SMALL HOUSE CATALOGUE

1574 GULF ROAD #307

POINT ROBERT, WA 98281

+1 (360) 707-0272

www.smallhousecatalogue.com

DESIGNED BY

Steve A. Dohm for

Small House Catalog LLC

PRINTED BY

REPRINTS REQUESTED

CONTACT

PERMITTING

THIS PLAN MUST BE SUBMITTED TO A LOCAL CODE ENFORCEMENT AUTHORITY FOR PLANS AND AN ENGINEER MAY BE REQUIRED.

LICENCE TO BUILD

THE OWNER OF THIS PLAN IS GRANTED A LICENSE TO BUILD ONE HOUSE PER PLANS AND ANY ADDITIONAL HOUSES MUST BE APPROVED AS NECESSARY TO APPROVE.

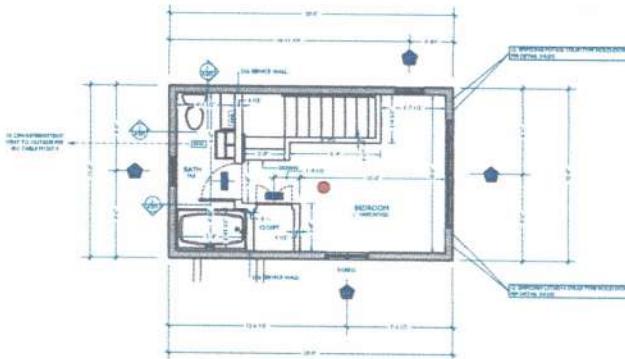
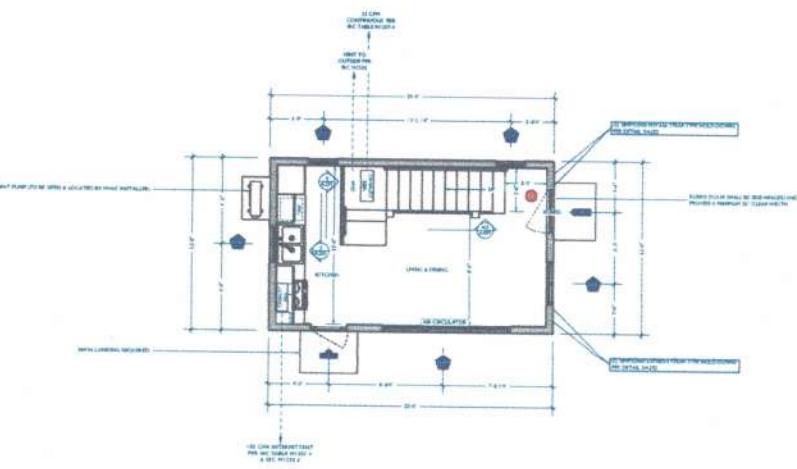
FOR MULTIPLE PROJECTS APPROVALS AND PERMITS CAN OBTAINED SIMPLY BY PURCHASING THE REQUIRED NUMBER OF PLANS. PLEASE CONTACT THE SMALL HOUSE CATALOG WEBSITE.

FLOOR PLANS & DETAILS

SHEET NO.

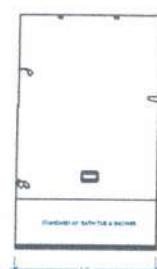
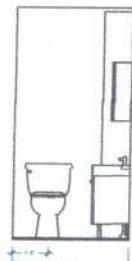
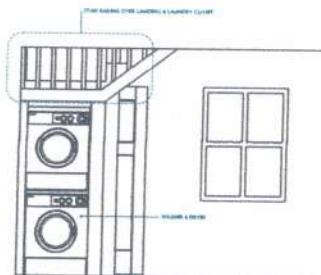
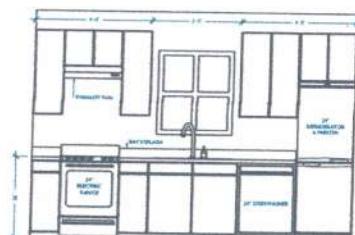
A201

April 2008



1 MAIN FLOOR PLAN

SCALE 1/4" = 1'



2 KITCHEN ELEVATION

SCALE 1/4" = 1'

4 LAUNDRY

SCALE 1/4" = 1'

5 BATHROOM

SCALE 1/4" = 1'



THIS HOUSE IS REPLACING AN EXISTING DWELLING
THERE ARE NO LOT LINE FIRE SEPARATION REQUIREMENTS



NOTES:

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY
2. GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)

FRONT ELEVATION

BUILDER:

CONTRACTOR: JP CONSTRUCTION
JOHN PAGLIARO
22 KINGS RIDGE ROAD
SOUTH KINGSTON, RI 02879
REGIS. # 7223
DAVE@COASTALMOD.COM

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17052
CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:
JP CONSTRUCTION

CUSTOMER
ENGINEER'S / ARCHITECT'S SEAL

APPROVING SEAL
PFS PFS Corporation
Approval Limited to Factory-Built Portion Only
State: Rhode Island - IBC
Signature: *Melissa Floyd*
Title: Staff Plan Reviewer
Date: 07/20/2021

MODIFICATIONS
FN 3-10-21 JPF
SN 5/14/21 ATT
PD4 9-23-20 JPF
PD#5 1/4/21 DUN
PD6 1-14-21 SAN
WEDGE BOX 2-18-21 ATT

SITE CONDITIONS:

GROUND SNOW LOAD: 30 PSF
WIND SPEED: 120 MPH = 154 VULT
EXPOSURE: C
SEISMIC CATEGORY: B
USE GROUP: SINGLE FAMILY
CONSTRUCTION TYPE: V8 WOOD FRAME UNPROTECTED

SQUARE FOOTAGE:

FIRST FLOOR:	481 SQ. FT.
SECOND FLOOR:	481 SQ. FT.
BONUS ROOM:	372 SQ. FT.
GARAGE:	NA SQ. FT.
TOTAL:	1244 SQ. FT.
OVERALL SIZE:	154' x 30'4"
MODEL:	CUSTOM 2-STORY

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:	DATE:
TITLE:	

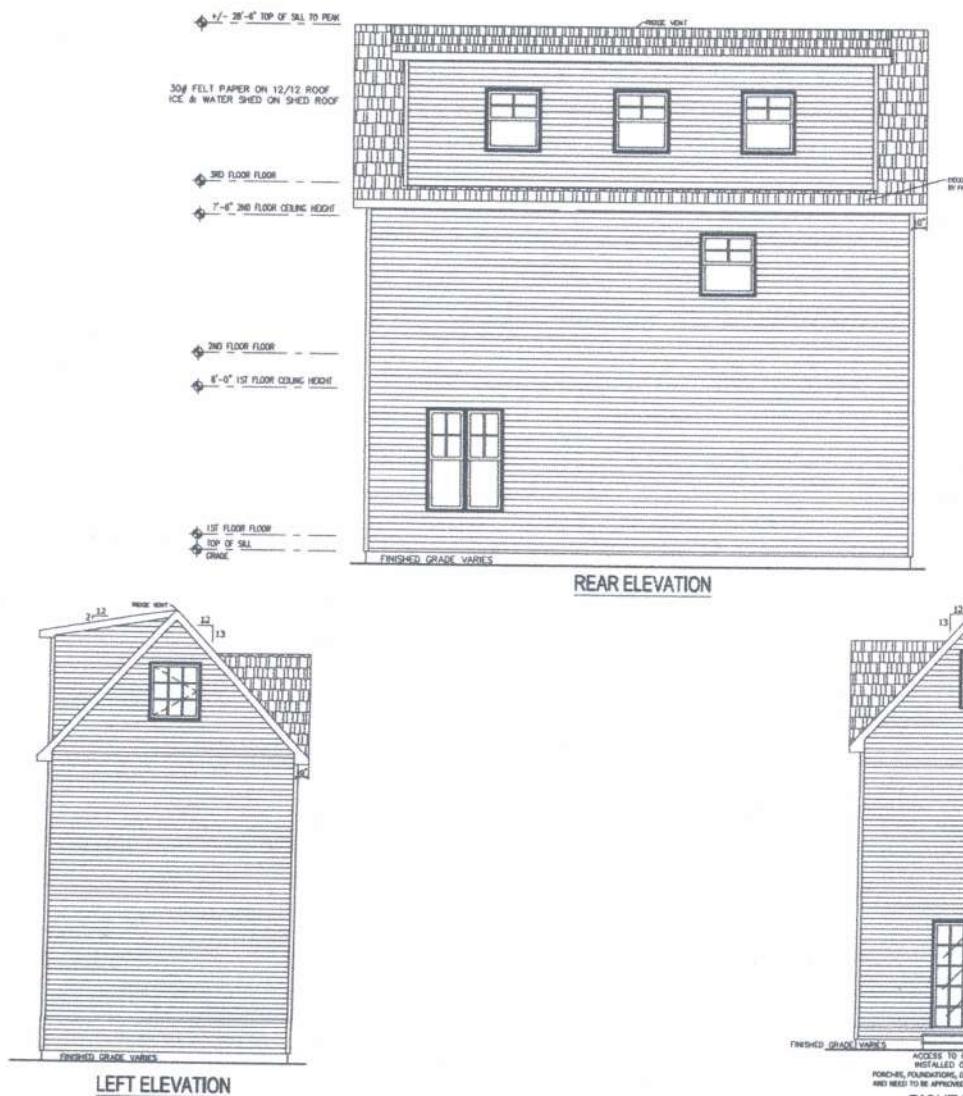
PROJECT: 42375
2-STORY

TITLE: COVER SHEET

DRAWN BY: JPF
DATE: 01-24-20
SCALE: NA
FILENAME: 42375.FN

SHEET: COVER

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ACCEPTED BY: _____ DATE: _____
TITLE: _____

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045
CHAMPION
MODULAR

BRAND:



BUILDER:
JP CONSTRUCTION

CUSTOMER

ENGINEER'S / ARCHITECT'S SEAL

APPROVING SEAL

PFS Corporation
Northeast Region
APPROVED
Michelle Floyd
07/20/2021
Approval limited to
Factory Built Portion

MODIFICATIONS

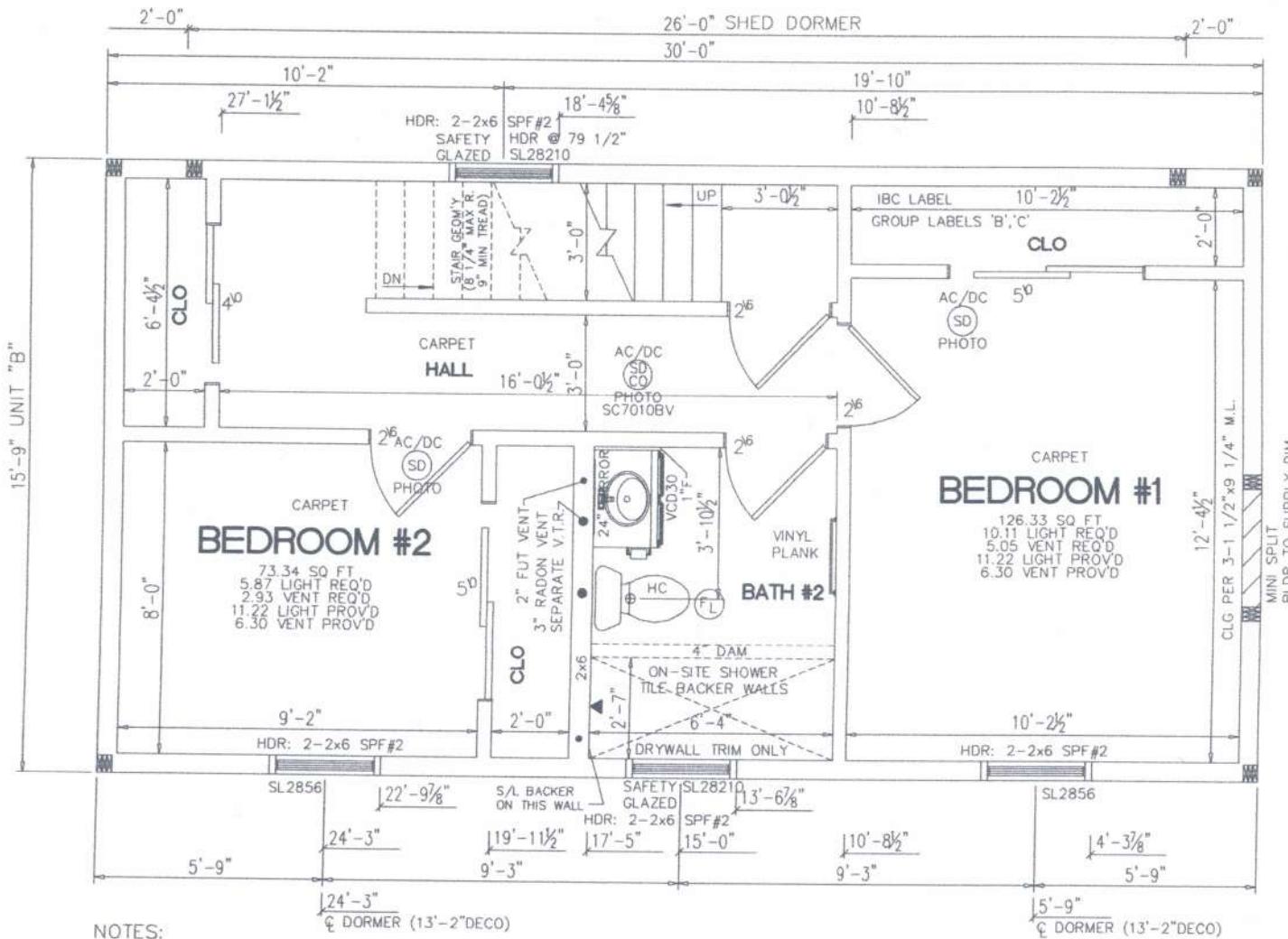
PROJECT:
42375
2-STORY

TITLE:
ELEVATIONS

DRAWN BY: STAFF
DATE: 01-24-20
SCALE: NA
FILENAME: 42375.FN

SHEET:
ELEVATIONS

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CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
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LIVERPOOL, PA 17045
CHAMPION
MODULAR

BRAND:



CUSTOMER:

ENGINEER'S / ARCHITECT'S SEAL

APPROVING SEAL

PFS Corporation
Northeast Region
APPROVED
Michelle Floyd
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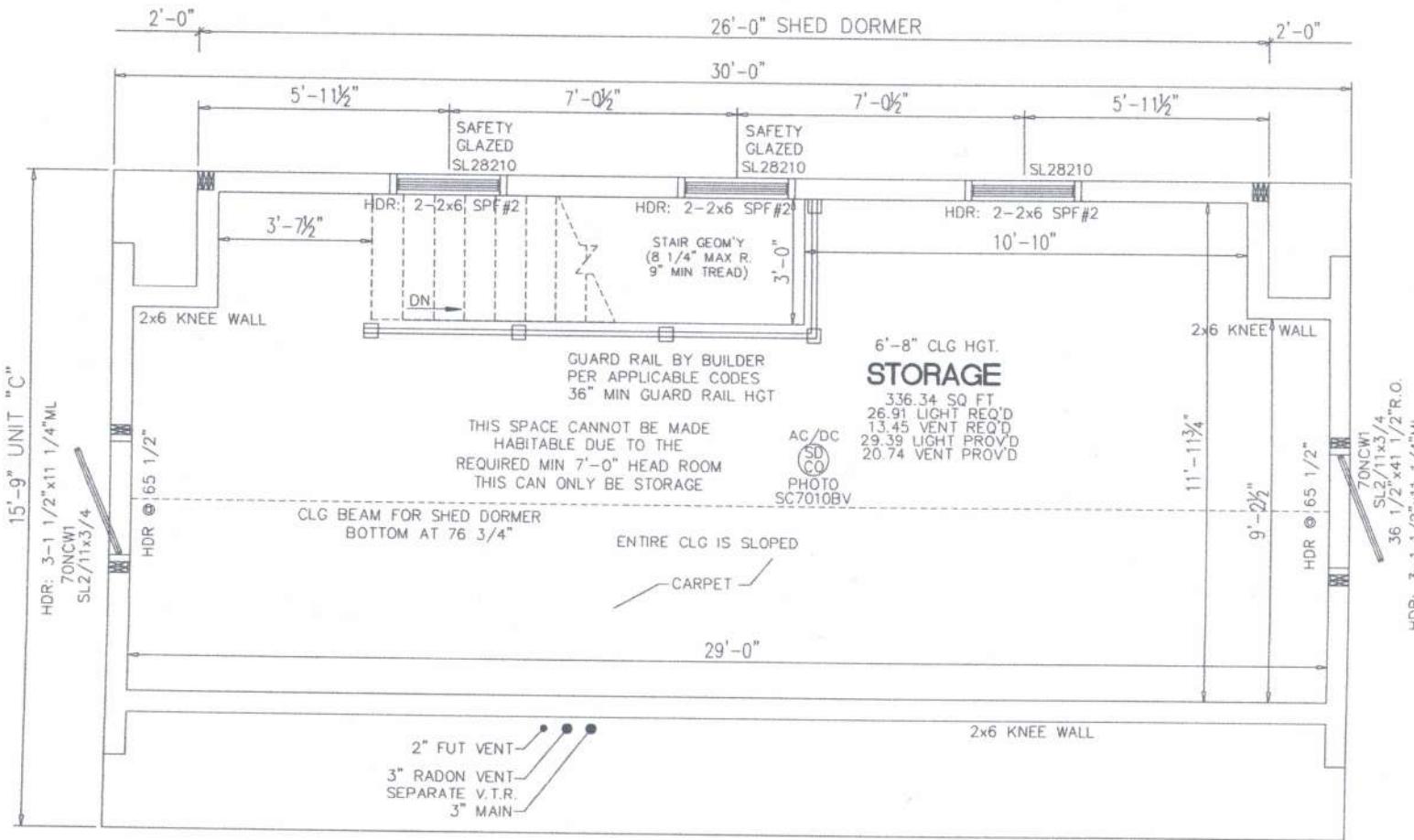
MODIFICATIONS

PROJECT: 42375
2-STORY
TITLE: SECOND FLOOR
FLOOR PLAN

DRAWN BY: STAFF
DATE: 01-24-20
SCALE: NA
FILENAME: 42375.FN

SHEET: 2ND FLR

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FINISHED 3RD FLOOR WEDGE BOX

ALL FINISH MATERIALS SUPPLIED AND INSTALLED BY FACTORY

NOTES:

1. 2x6 EXT WALLS @ 16" O.C.(EXCEPT AS NOTED)
2. 6'-8" CLG HT.
3. ROOF SYSTEM TO BE 16" O.C.
4. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS
5. CLG BEAM OVER UNIT 'C' TO BE: 3-1 1/2" x22"x30'-0" LVL

BUILDER / OWNER SIGNATURES:

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045

BRAND

excel
HOMES

JP CONSTRUCTION

APPROX.

PFS Corporation
Northeast Region
APPROVED
Michelle Floyd
07/20/2021
Approval limited to
Factory Built Portion

MODIFICATIONS

PROJECT: 42375
2-STORY

TITLE: THIRD FLOOR FLOOR PLAN

DRAWN BY: STAFF
DATE: 01-24-20
SCALE: 3/16" = 1'-0"
FILENAME: 42375.FN

SHEET: 3RD FLR

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Accessory Dwelling Units (ADUs) in Rhode Island

In Rhode Island, an ADU is defined as a self-contained residential unit on the lot of an existing dwelling — for example, an in-law apartment, garage conversion, basement or detached cottage on the same lot. **Statewide “by-right” framework**

Recent legislation (R.I. Gen. Laws § 45-24-73) mandates that all municipalities must allow at least one ADU per lot under certain conditions. For example, an ADU may be allowed if the lot is owner-occupied (or meets other criteria such as lot size or conversion within the footprint) and the property is zoned for residential use. **Size, bedrooms & other limitations**

A studio or one-bedroom ADU may be up to 900 sq ft or up to 60% of the floor area of the principal dwelling, whichever is less. A two-bedroom ADU may be up to 1,200 sq ft or 60% of the principal dwelling, whichever is less. Municipalities cannot impose standards more stringent than for other accessory structures. **Zoning, parking and use**

Municipalities may apply zoning requirements (setbacks, lot coverage, etc.) but cannot require special use permits for ADUs that meet state criteria. Typically, up to one parking space per bedroom may be required. Municipalities also cannot require separate utility service lines solely due to an ADU. **Uses and restrictions**

ADUs may be occupied by anyone, not just family members. Short-term rental use (under 30 days) is restricted in many areas. **Modular and Prefabricated ADUs**

Modular ADUs—sometimes called prefabricated or factory-built units—are fully or partially constructed off-site in a controlled manufacturing environment and then transported to the property for installation. These units must meet the same state and local building codes as site-built ADUs and can provide faster, cost-effective construction with reduced on-site disruption.

Key benefits include:

- Shorter construction timelines (often 8–12 weeks after permitting).
- Predictable costs and minimal weather delays.
- High-quality construction and energy efficiency.
- Flexibility in design, including detached cottages or backyard studios.
- Eligibility for the same ADU permitting process under Rhode Island law.

Homeowners should verify that the modular ADU manufacturer is licensed and compliant with Rhode Island’s building and energy codes. RIHousing and some local lenders offer financing options specifically for ADU or modular construction projects. **Benefits and purpose**

- Increases housing supply and flexibility statewide.
- Supports multigenerational living and aging in place.
- Offers supplemental income and increases property value.
- Provides sustainable, cost-effective modular construction options.

Action steps for homeowners

1. Verify zoning and eligibility for your property.
2. Review municipal permit requirements.
3. Confirm size limits and code compliance.
4. Ensure proper registration and occupancy compliance.
5. Check rental and occupancy rules if leasing.
6. For modular ADUs, choose a licensed manufacturer and confirm compatibility with site conditions.
7. Consult your local building office early. In summary: Rhode Island’s ADU policy establishes statewide “by-right” access for many homeowners, promoting flexible, small-scale housing options — including modular ADUs — while maintaining local zoning input.

